

18 March 2011

Dear Councillor

DEVELOPMENT CONTROL COMMITTEE - TUESDAY, 29TH MARCH 2011

Please find enclosed location and layout plans for the planning applications that are to be considered at the above meeting of the Development Control Committee.

Agenda No Item

4. **Planning applications to be determined**

- a) 11/00100/FUL - Chisnall Playing Fields Coppull (Pages 91 - 94)

Report of the Director of Partnerships, Planning and Policy (enclosed).

- b) 10/01110/REMAJ - Royal Ordnance Site Including Land Between Dawson Lane And Euxton Lane, Euxton, Lancashire (Pages 95 - 108)

Report of the Director of Partnerships, Planning and Policy (enclosed).

- c) 10/01081/FUL - Land North West Of And Adjacent To Back House Barn, Hall Lane, Mawdesley ,Lancashire (Pages 109 - 120)

Report of the Director of Partnerships, Planning and Policy (enclosed).

- d) 10/01065/FUL - Land 30M North West Of 79 Railway Road, Brinscall, Lancashire (Pages 121 - 126)

Report of the Director of Partnerships, Planning and Policy (enclosed).

- e) 10/00735/OUTMAJ - Land 110m West Of Coppull Enterprise Centre, Mill Lane, Coppull, Lancashire (Pages 127 - 134)

Report of the Director of Partnerships, Planning and Policy (enclosed).

5. **Enforcement Item - 286 The Green Eccleston** (Pages 135 - 136)

Report of the Director of Partnerships, Planning and Policy (enclosed).

Yours sincerely

Donna Hall

Donna Hall CBE
Chief Executive

Cathryn Barrett
Democratic and Member Services Officer
E-mail: cathryn.barrett@chorley.gov.uk
Tel: (01257) 515123
Fax: (01257) 515150

Distribution

1. Agenda and reports to all Members of the Development Control Committee.

**This information can be made available to you in larger print
or on audio tape, or translated into your own language.
Please telephone 01257 515118 to access this service.**

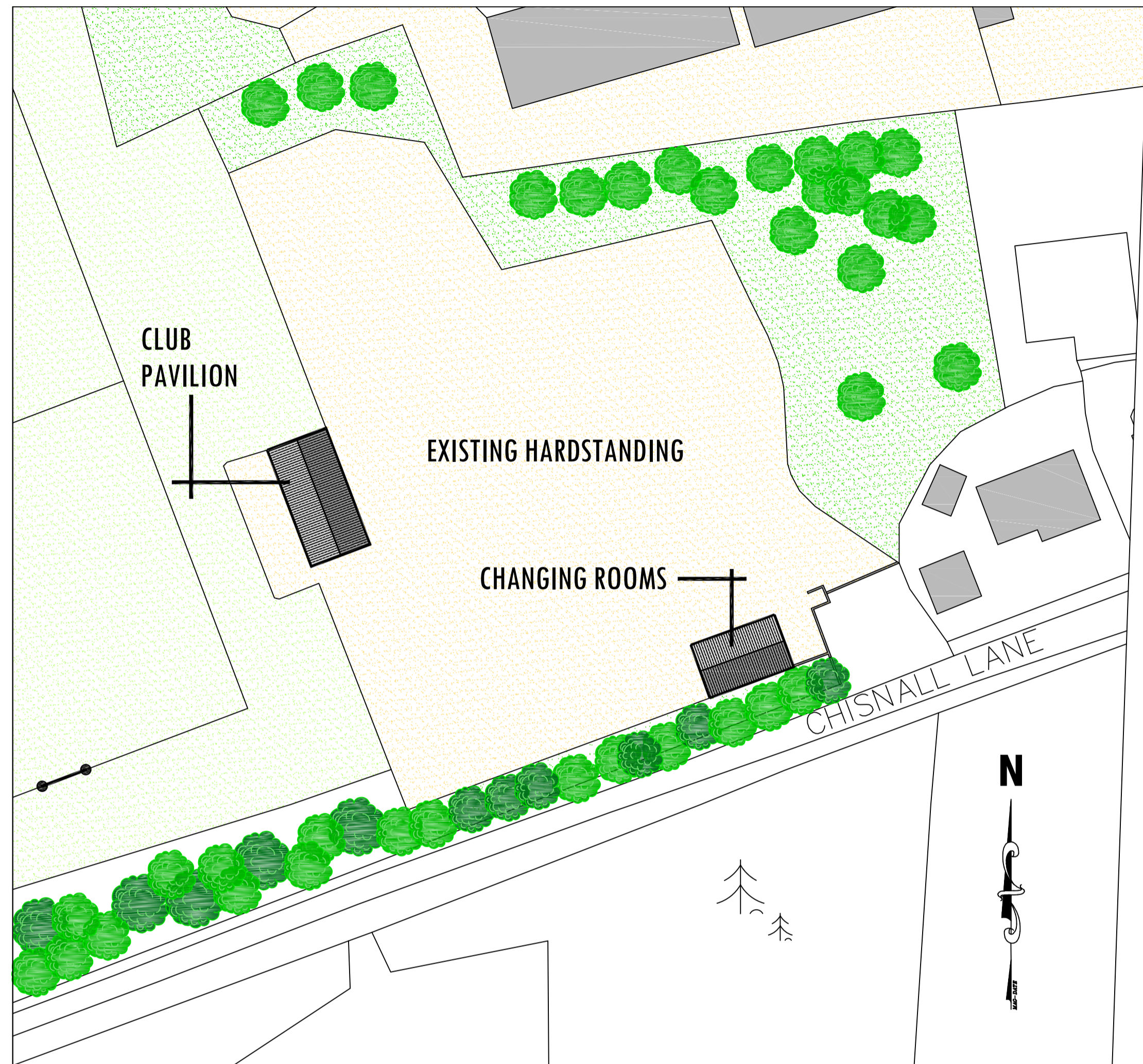
આ માહિતીનો અનુવાદ આપની પોતાની ભાષામાં કરી શકાય છે. આ સેવા સરળતાથી મેળવવા માટે કૃપા કરી, આ નંબર પર ફોન કરો: 01257 515822

ان معلومات کا ترجمہ آپ کی اپنی زبان میں بھی کیا جاسکتا ہے۔ یہ خدمت استعمال کرنے کیلئے براہ مہربانی اس نمبر پر ٹیلیفون

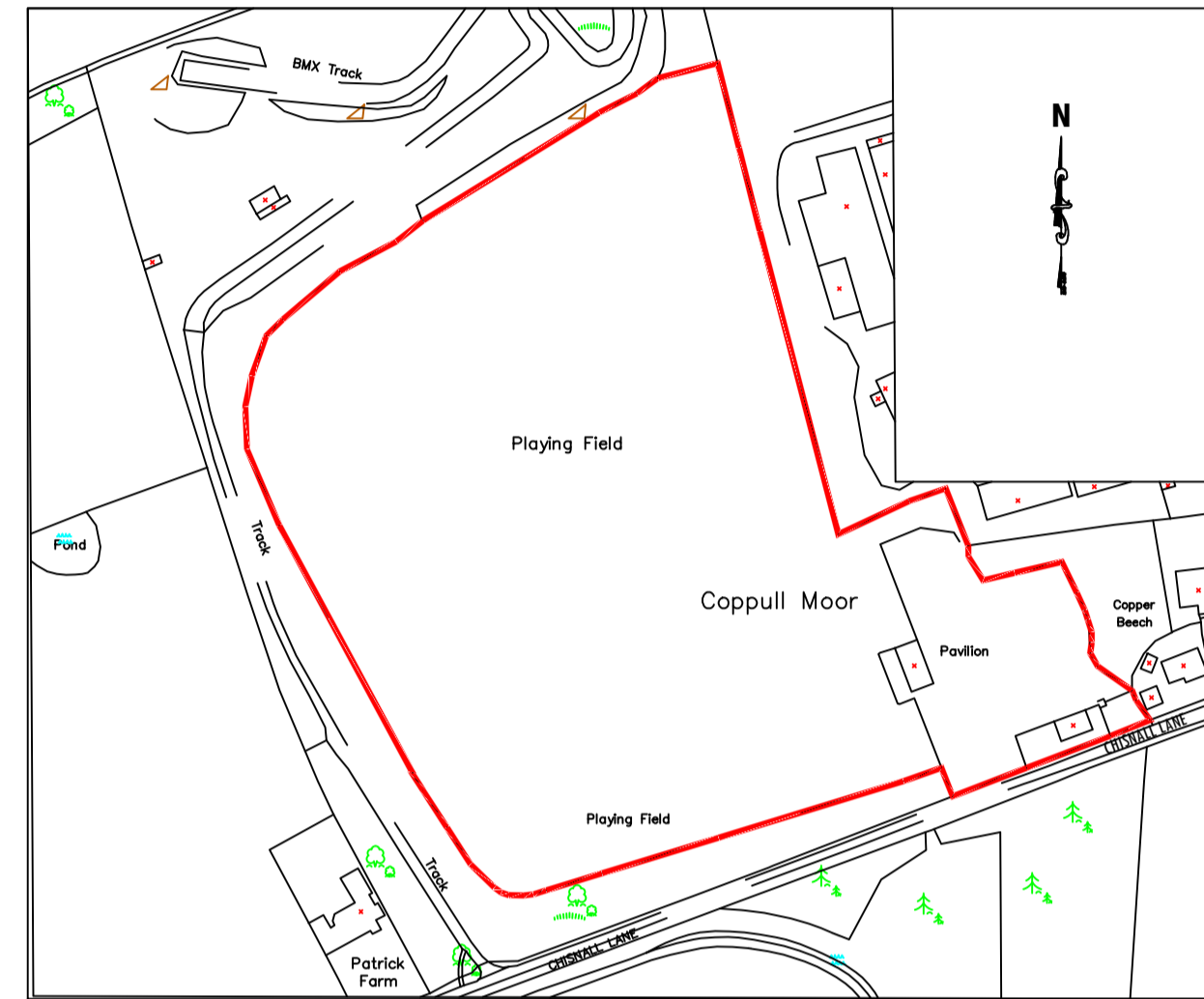
01257 515823

کیجئے:

CHORLEY PANTHERS RLFC. CHISNALL LANE, COPPULL.



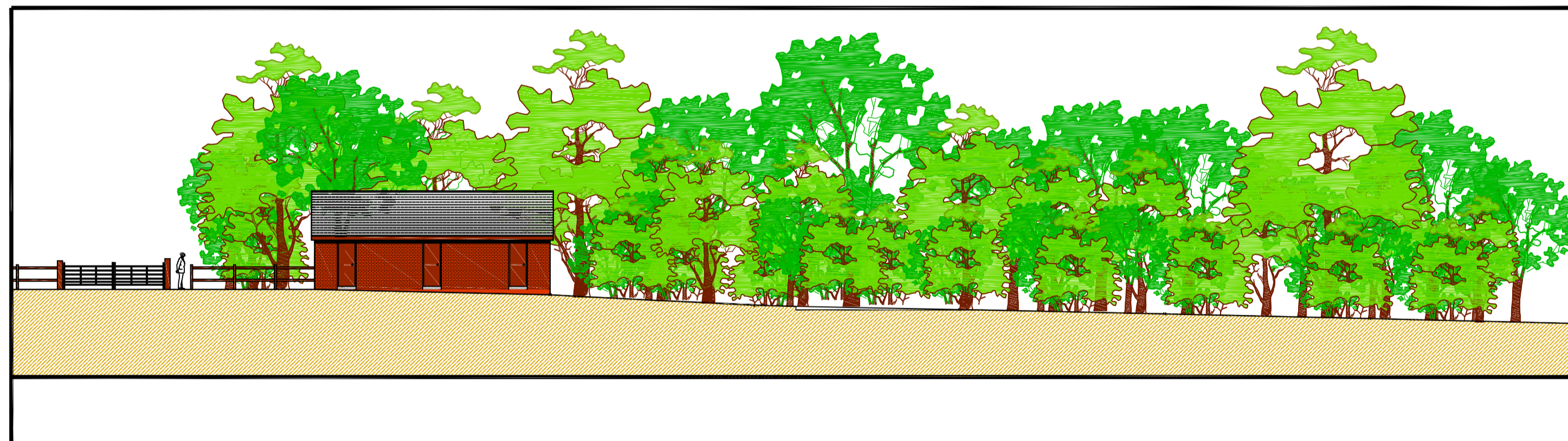
EXISTING SITE PLAN (1:500)



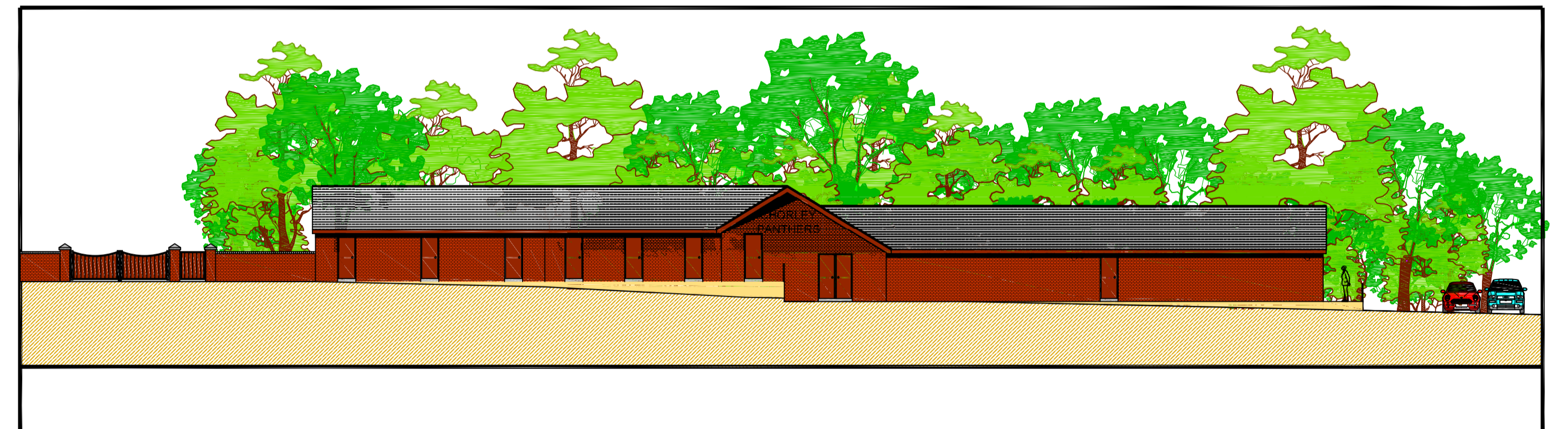
LOCATION PLAN (1:2500)



PROPOSED SITE PLAN (1:500)



EXISTING FRONT ELEVATION (1:200)

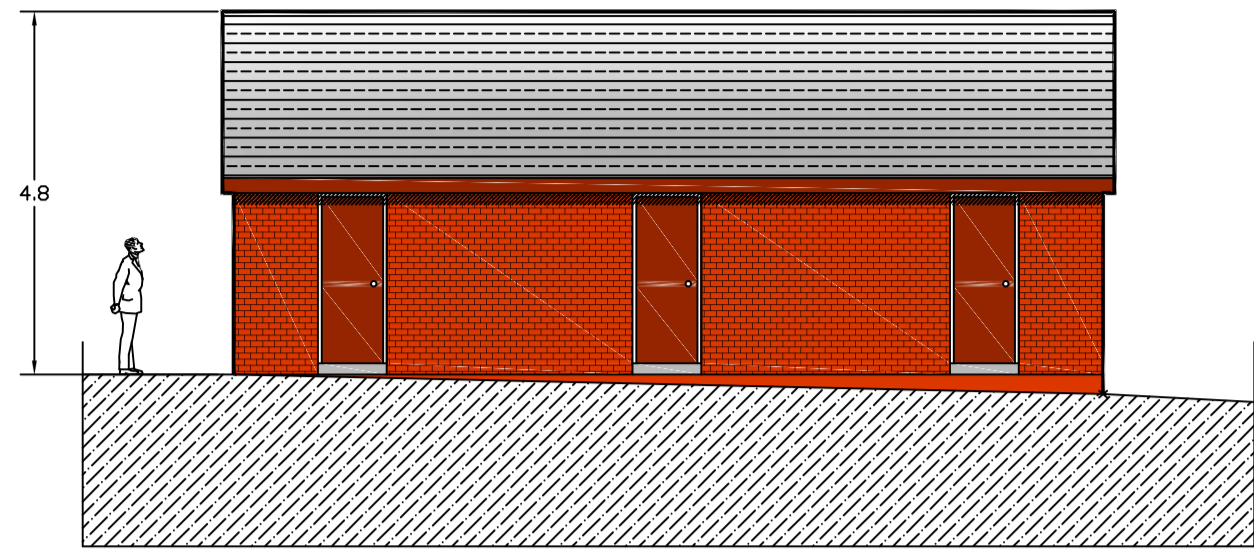


PROPOSED FRONT ELEVATION (1:200)

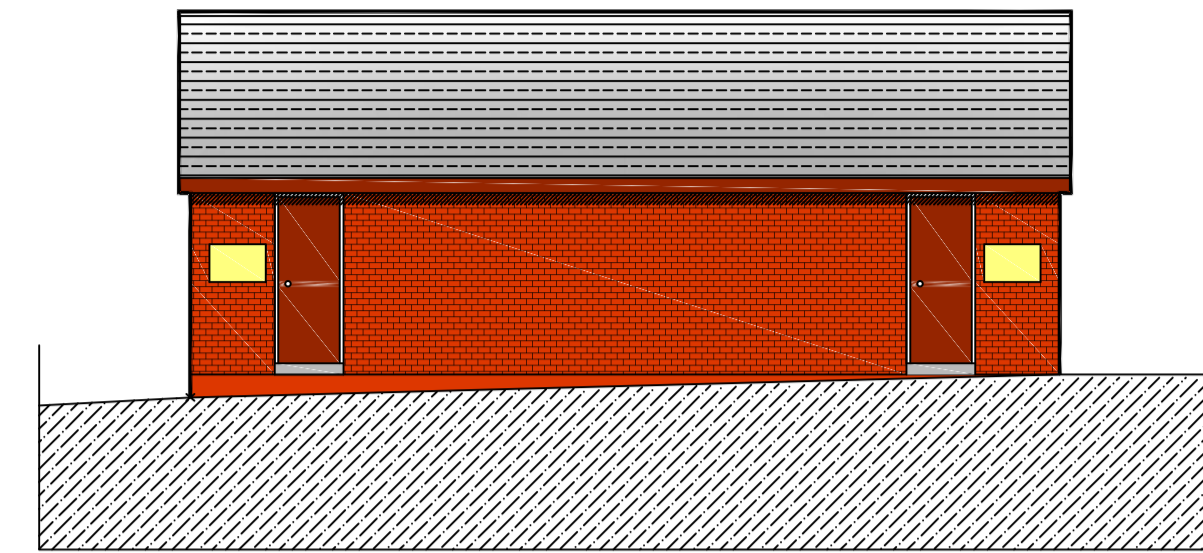
 Ainscough Strategic Land CHORLEY PANTHERS 05-09-10			
Title CHORLEY PANTHERS RLFC, CHISNALL LANE, COPPULL.			
Client CHORLEY PANTHERS RLFC			
Dwg. No. 001 - PLANS			
Date	Scale	Drawn by	Checked by
29.01.11	VARIOUS	AWH	

This page is intentionally left blank

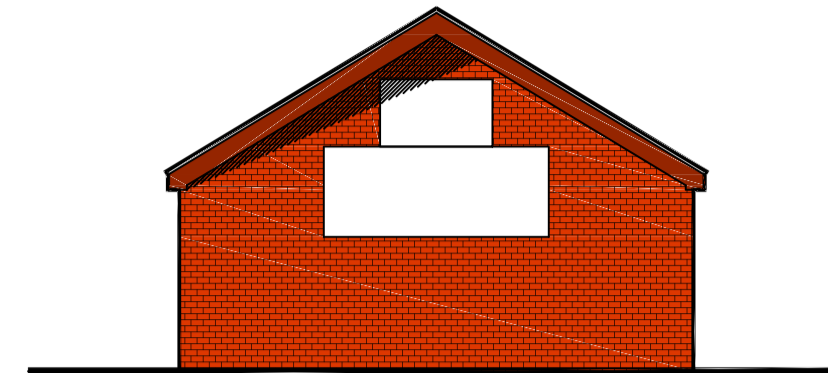
CHORLEY PANTHERS RLFC. CHISNALL LANE, COPPULL.



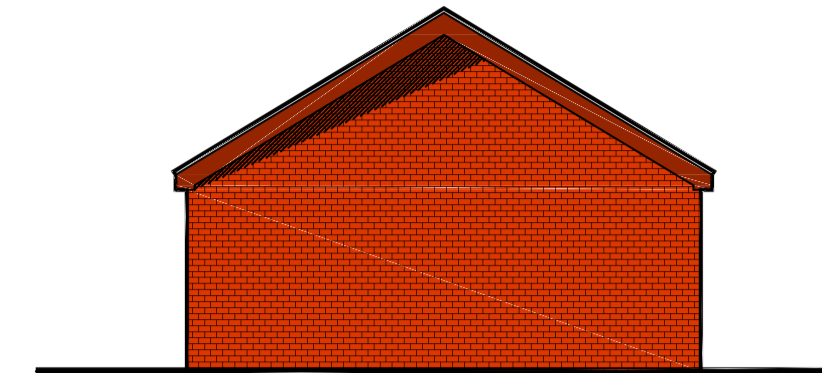
EXISTING FRONT ELEVATION (1:100)



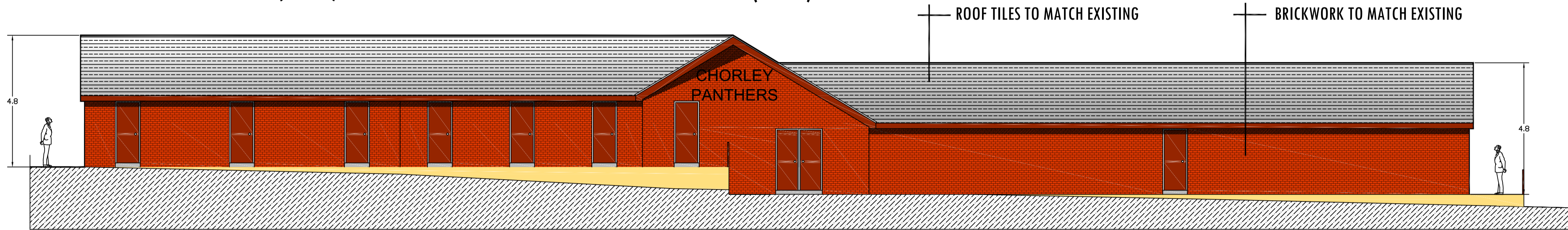
EXISTING REAR ELEVATION (1:100)



EXISTING SIDE ELEVATION (1:100)

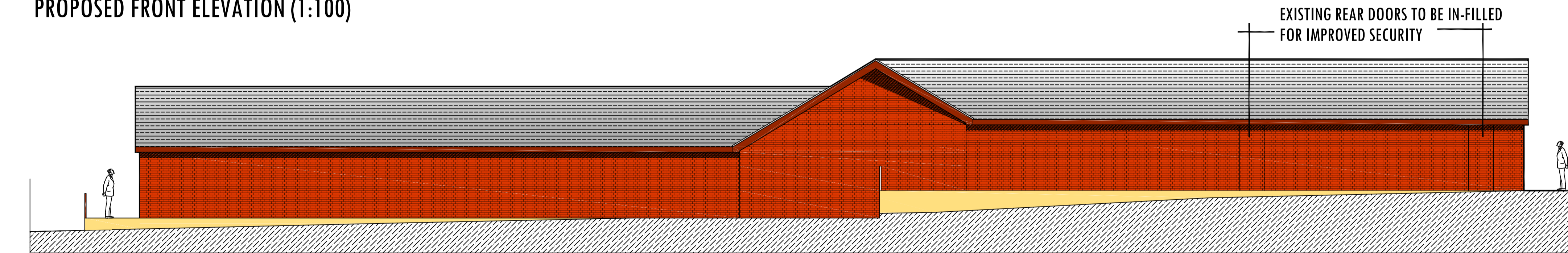


EXISTING SIDE ELEVATION (1:100)



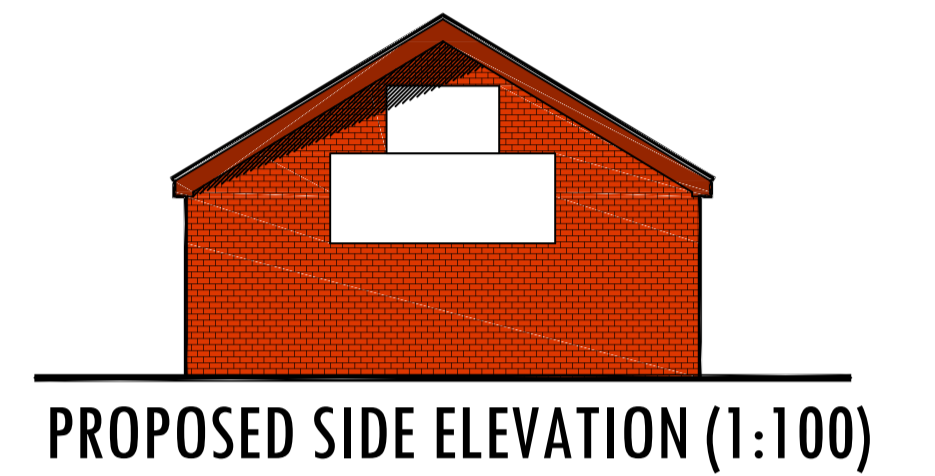
PROPOSED FRONT ELEVATION (1:100)

ROOF TILES TO MATCH EXISTING
BRICKWORK TO MATCH EXISTING



PROPOSED REAR ELEVATION (1:100)

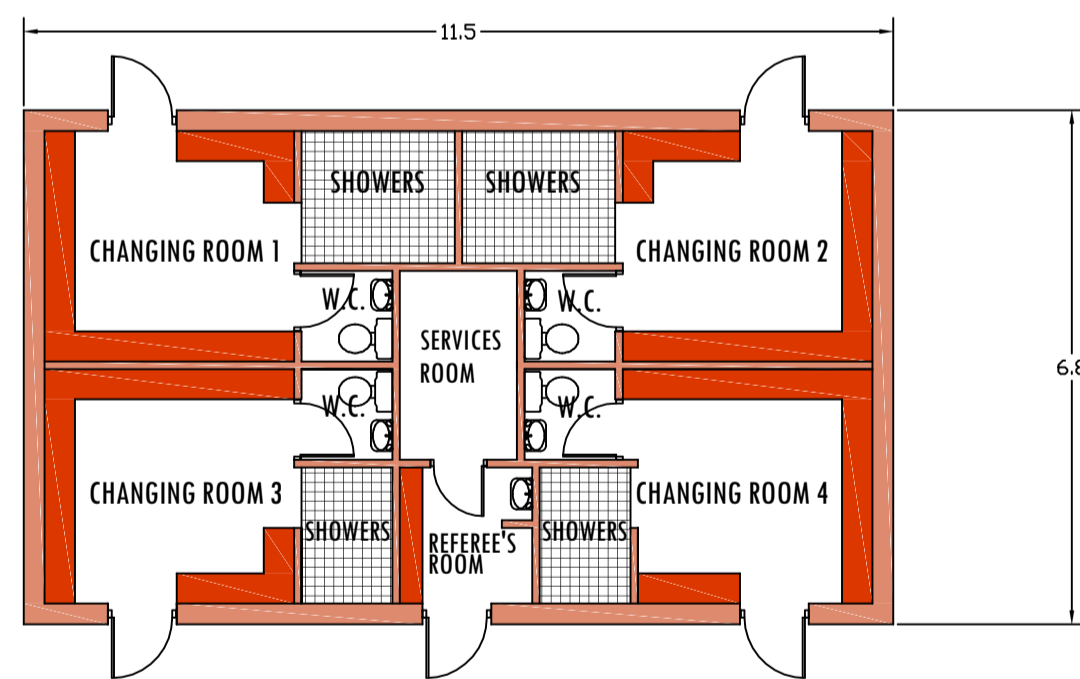
EXISTING REAR DOORS TO BE IN-FILLED FOR IMPROVED SECURITY



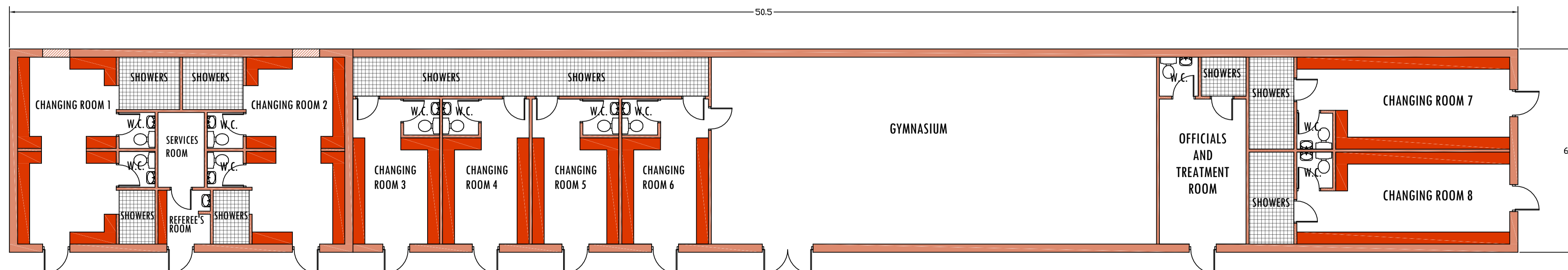
PROPOSED SIDE ELEVATION (1:100)




PROPOSED SIDE ELEVATION (1:100)



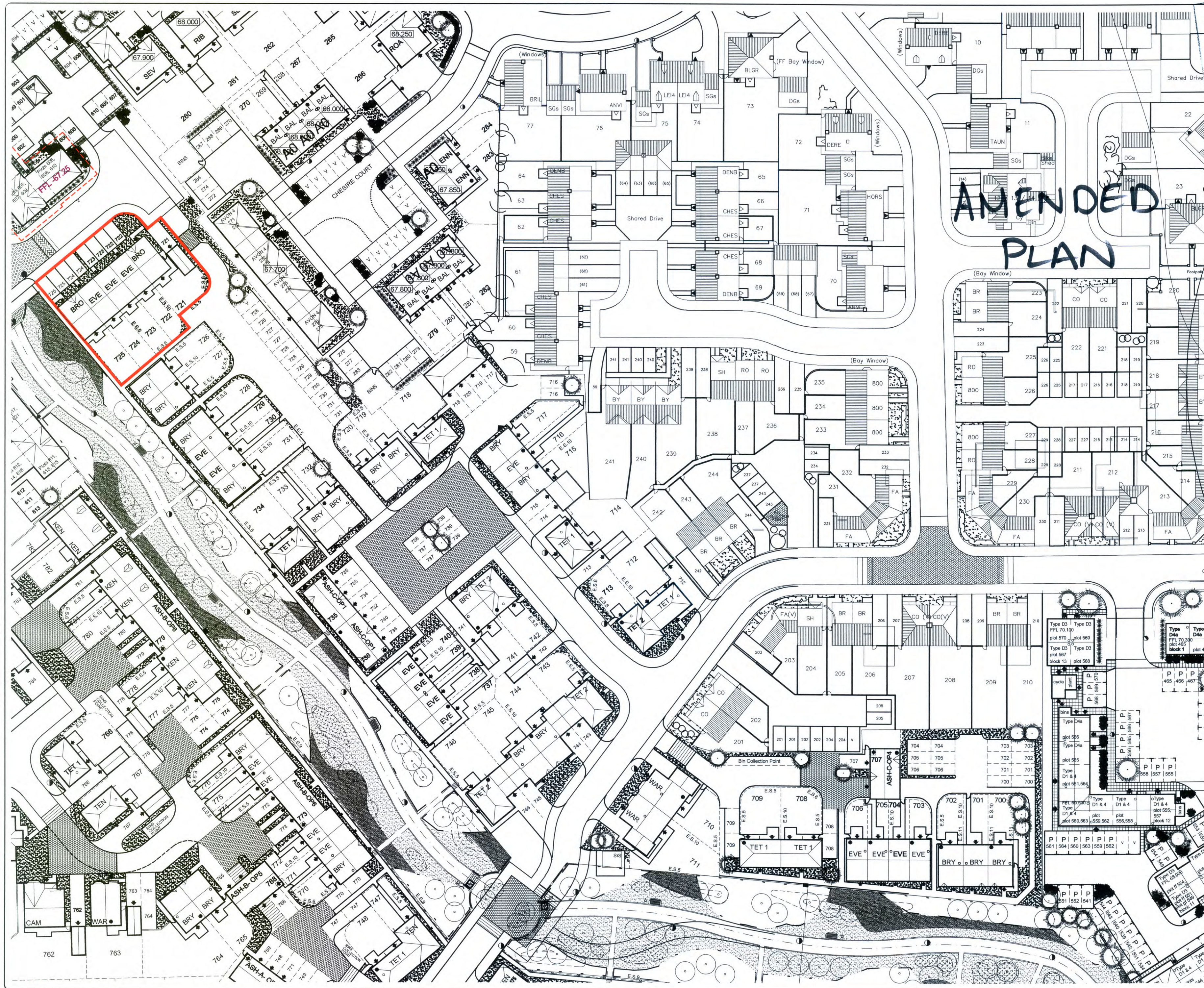
EXISTING FLOOR PLAN (1:100)



PROPOSED FLOOR PLAN (1:100)

 Ainscough Strategic Land CHORLEY PANTHERS 05-09-10			
Title CHORLEY PANTHERS RLFC, CHISNALL LANE, COPPULL.			
Client CHORLEY PANTHERS RLFC			
Dwg. No. 001 - ELEVS			
Date	Scale	Drawn by	Checked by
29.01.11	1:100	AWH	

This page is intentionally left blank



11 MAR 2011 A2
1010110

Legend

- Line to delineate plot boundaries. Refer to Boundary Treatment plan for type of wall/fence
- Location of alternative window positions. To be read in conjunction with house type drawings.
- Indicative position of new tree planting. Refer to Landscape Layout for further details.
- Proposed timber gates to be erected to rear gardens as indicated on site layout. Refer to Commercial Department for spec of gates.
- Proposed tegular blockpaving. Refer to Engineer's External Works Plan for further details.
- Proposed Blockpaving to Rumblestrip. Refer to Engineer's External Works Plan for further details.

Item Description

Mix Schedule

House Type	Sqft	No Beds	Quantity
HOUSE TYPES			
The Evesham	679	2	11
The Broadway	816	3	17
The Tetbury 1	900	3	07
The Tetbury 2	900	3	04
The Warwick	1013	3	02
APARTMENT TYPES			
The Ashdon	645	2	03
The Abingdon 1	548	2	03
TOTAL			47

Revision	Date	Amendment	Initials
A	21.05.09	Site Plan amended following clients comments	GB_BDC
B	26.05.09	Further amendments following clients comments	JL_BDC
C	01.06.09	Mix schedule amended	CG_RED
D	05.06.09	Further amendments following planners' comments	JL_BDC
E	09.06.09	Ashdon references amended on site layout	CG_RED
F	23.07.09	Site layout amended following Planning Officer's comments	JL_BDC
G	31.07.09	Scheme revised following planners' / clients comments	JL_BDC
H	20.10.09	Garage pitches amended to suit C-Series dwgs.	HC_RED
I	11.03.10	Tetbury 2 renamed to Tetby	JS_RED
J	16.09.10	Plots 734 + 735 Garages Swapped	CE_RED

Town Farm,
17 Orford Close,
Golborne,
Warrington,
Cheshire,
WA3 3WP
Tel: 01942 719513
Mob: 07773343602

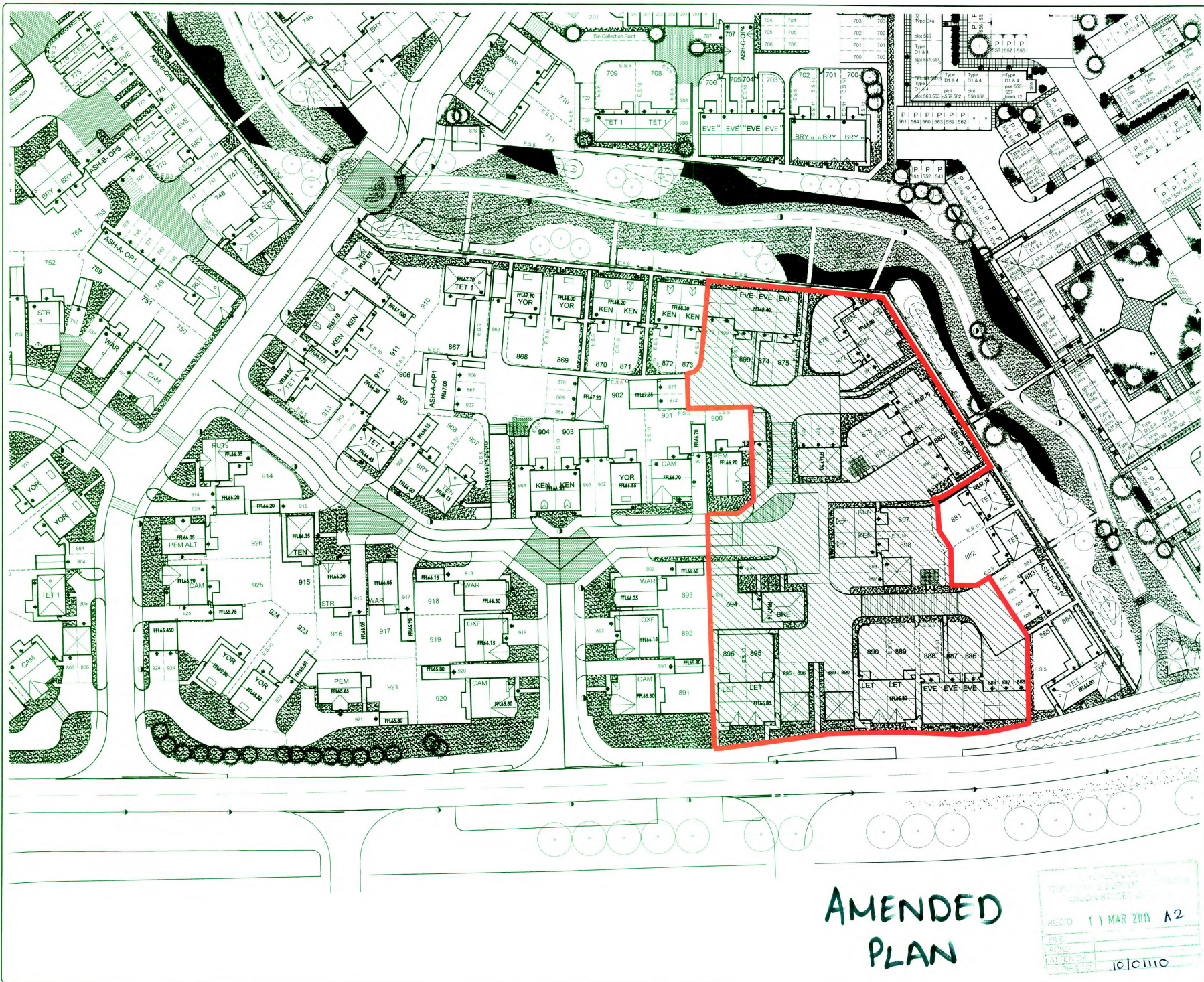
aldwin design consultancy Limited
e-mail: graham.baldwin@bdc.gb.com

Development Buckshaw Parcel H6
Location Buckshaw Village, Chorley
Marketing Name
Drawing Title Proposed Site Layout
Drawing Number **BV-H6-11-02-001**
Revision **J** Scale @ A2 1:500
Drawn By JL Date Started 08.04.09
Checked by Date

REDROW HOMES
Redrow Homes (Lancashire) Limited
Redrow House, 14 Eaton Avenue, Buckshaw Village, Chorley, Lancashire. PR7 7NA
Tel: 01772 643700 Fax: 01772 643701 Web: www.redrow.co.uk

Legal Disclaimer TBC
This layout has been designed after due consideration of our Context & Constraints Plan

This page is intentionally left blank



AMENDED
PLAN

RECEIVED
11 MAR 2011 A2
10/10/10

Survey Information

Legend

- Line to delineate plot boundaries. Refer to Boundary Treatment plan for type of walling.
- Location of alternative window positions. To be read in conjunction with house type drawings.
- Indicative position of new tree planting. Refer to Landscape Layout for further details.
- Proposed timber gates to be erected to rear gardens as indicated on site layout. Refer to Commercial Department for sizes of gates.
- Proposed regular block paving. Refer to Engineer's External Works Plan for further details.
- Proposed Block paving to Rumbasteg. Refer to Engineer's External Works Plan for further details.

Item	Description
------	-------------

Mix Schedule	House Type	Sqft	No Beds	Quantity
	The Evesham	679	2	06
	The Broadway	916	3	03
	The Telfury 1	900	3	06
	The Tenby	900	3	04
	The Kenilworth	1070	3	12
	The Pembrok	1112	4	03
	The Ruthin	1292	4	01
	The York	1321	4	05
	The Cambridge	1331	4	04
	The Brecon	965	3	01
	The Warwick	1022	3	03
	The Stratford	1096	4	01
	The Oxford	1261	4	02
	The Letchworth	924	3	04

APARTMENT TYPES

The Ashdon	645	2	03
TOTAL			58

Revision	Date	Amendment	Author
A	21.05.09	Site Plan amended following clients comments	JL, BDC
B	22.06.09	Further amendments following clients comments	JL, BDC
C	01.08.09	Mix schedule amended	CC, RED
D	05.06.09	Further amendments following planners comments	JL, BDC
E	09.08.09	Auditor references amended on layout	JL, BDC
F	23.07.09	Layout amended following Planning Officers comments	JL, BDC
G	23.07.09	Mix schedule amended	JL, BDC
H	31.07.09	Scheme revised following planners' clients comments	JL, BDC
J	16.09.09	Scheme revised following planners' highways comments. Plot 893 & 919 removed	JL, BDC
K	23.07.09	Change Plot 893 amended to suit C1000s design	JL, BDC
L	30.10.09	Change Plot 893 amended to suit C1000s design	JL, BDC
M	27.02.10	House type schedule amended	JL, BDC
N	03.02.10	Finished floor levels added & reference added for alternative windows	JL, BDC
O	11.03.10	Telfury 2 renamed to Tenby	JL, BDC
P	26.07.10	Site Layout updated to suit Neplan approval	CC, RED
Q	15.09.10	Plot 897 Garage added to site 888 and 898	JL, BDC
R	13.10.10	Change Single Garage, from a two space garage, C100 and A4 references added and Telfury 2 House names changed to Tenby	CC, RED
S	17.11.10	Plot 915 position and path amended to suit roads	JL, BDC
T	24.01.11	Site plan amended further to sales comments	JL, BDC
U	18.02.11	Site plan amended further to A4 comments	JL, BDC

Town Farm,
17 Orford Close,
Gatton,
Warrington,
Cheshire,
WA3 3WP
Tel: 01942 719513
Mob: 07773343602
e-mail: graham.baldwin@bdc.gb.com

Development: **PARCEL 1 PHASE 1**
 Location: **BUCKSHAW VILLAGE, CHORLEY**
 Marketing Name:
 Drawing Title: **DETAILED-SITE-LAYOUT**
 Drawing Number: **BV-11-11-02-002**
 Revision: **T** Scale @ A 2: **1:500**
 Drawn By: **CB** Date Started: **29-07-09**
 Checked by: _____ Date: _____

Redrow Homes (Lancashire) Limited
 Redrow House, 14 Eaton Avenue, Buckshaw Village, Chorley, Lancashire PR7 7NA
 Tel: 01772 683700 Fax: 01772 683701 Web: www.redrow.co.uk

Legal Disclaimer TBC
 This layout has been designed after due consideration of our Context & Constraints Plan

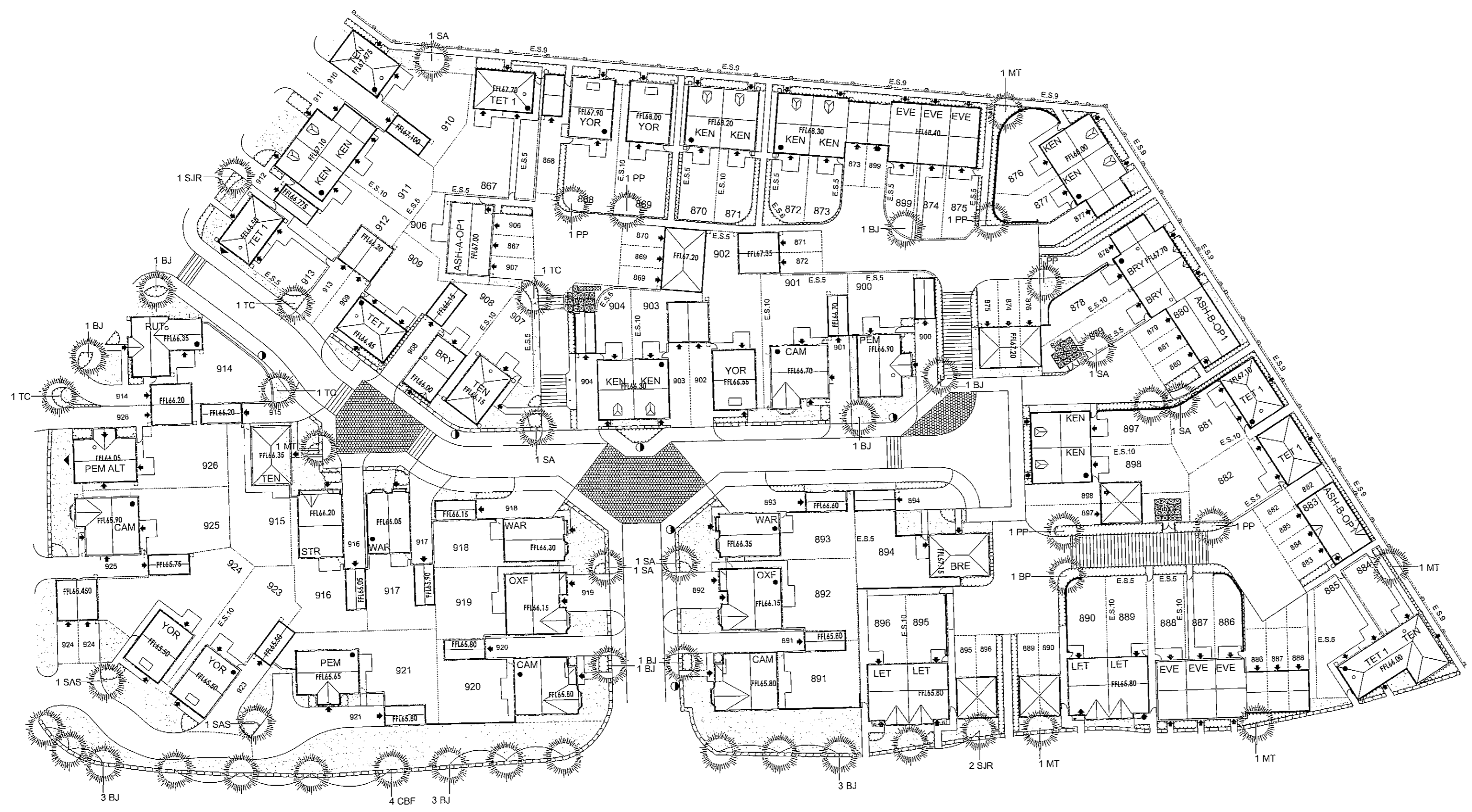
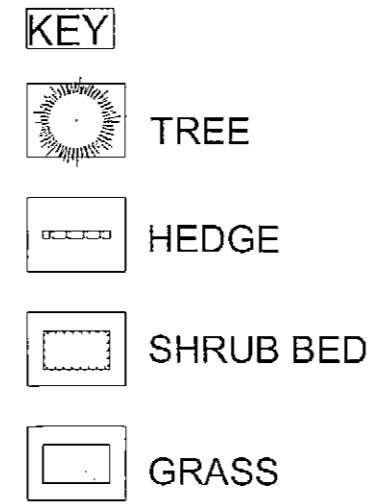
Agenda Page 97
Agenda Item 4b

This page is intentionally left blank

This page is intentionally left blank

This page is intentionally left blank

PLANT SCHEDULE						
TREES						
Abb. Botanical Name	Form / X Transplanted	Girth (cm)	Min. Height (cm)	Root Condition / Pot Size	Min. no Breaks / Habit	Density
BJ <i>Betula utilis jacquemontii</i>	Heavy Standard: 3x	12-14cm	350-425cm	RB		4/m ²
CBF <i>Carpinus betulus 'Fastigiata'</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
MT <i>Malus 'schrenkii'</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
PP <i>Prunus padus</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
SAS <i>Sorbus aucuparia 'Sheerwater Seedling'</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
SA <i>Sorbus aucuparia</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
SJR <i>Sorbus 'Joseph Rock'</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
TC <i>Tilia cordata</i>	Heavy Standard: 3x	12-14cm	350-425cm	B		4/m ²
HEDGES - To be planted in a double, staggered row & maintained to a height of 1.2M						
Botanical Name	Form / X Transplanted	Girth (cm)	Min. Height (cm)	Root Condition / Pot Size	Min. no Breaks / Branches	Density
<i>Prunus laurocerasus</i>		60-80cm	5L			3/m
<i>Prunus laurocerasus 'Otto Luyken'</i>		60-80cm	5L			4/m
SHRUBS						
Botanical Name	Form / X Transplanted	Girth (cm)	Min. Height (cm)	Root Condition / Pot Size	Min. no Breaks / Branches	Density
<i>Aucuba japonica 'Variegata'</i>		40-60cm	3L			4/m ²
<i>Berberis thunbergii 'Atropurpurea Nana'</i>		40-60cm	3L			4/m ²
<i>Ceanothus 'Blue Mound'</i>		40-60cm	3L			4/m ²
<i>Choboya temata 'Sundance'</i>		30-40cm	3L			4/m ²
<i>Colostea horizontalis</i>		30-40cm	3L			4/m ²
<i>Eleaagnus pungens 'Maculata'</i>		60-80cm	5L			3/m ²
<i>Escallonia 'Donard Seedling'</i>		40-60cm	3L			3/m ²
<i>Euonymus fortunei 'Silver Queen'</i>		30-40cm	3L			4/m ²
<i>Hebe zosterifolia 'Paradise'</i>		30-40cm	3L			4/m ²
<i>Hebe albicans 'Red Edge'</i>		30-40cm	3L			4/m ²
<i>Hedera helix</i>		30-40cm	2L			4/m ²
<i>Lavandula angustifolia 'Munstead'</i>		30-40cm	3L			4/m ²
<i>Lonicera nitida 'Baggesen's Gold'</i>		30-40cm	3L			4/m ²
<i>Lonicera pileata</i>		30-40cm	3L			4/m ²
<i>Mahonia x media 'Charity'</i>		30-40cm	3L			3/m ²
<i>Photinia x fraseri 'Red Robin'</i>		40-60cm	5L			4/m ²
<i>Paris 'Forest Flame'</i>		40-60cm	5L			3/m ²
<i>Prunus laurocerasus 'Otto Luyken'</i>		40-60cm	5L			4/m ²
<i>Senecio 'Sunshine'</i>		30-40cm	3L			4/m ²
<i>Skimmia japonica</i>		30-40cm	3L			3/m ²
<i>Viburnum tinus 'Eve Price'</i>		40-60cm	5L			3/m ²



GROUND PREPARATION - GENERAL

Preparing for topsoiling
Subsoil that is to receive topsoil shall, whether obviously overcompacted or not, be thoroughly broken up by hand, by heavy rotavator, by subsoiler or level equipment with adequate passes, made to thoroughly break up the surface to a depth of 150mm, cleared of all large stones, bricks, perennial weeds, tree roots (excluding living tree roots), coarse vegetation and other extraneous matter.

Subsoil grading
Subsoil shall only be graded after loosening as above, and this shall be undertaken by the use of a tractor and blade grader on large areas and by a small mechanical grader or by hand on small areas. Ground shall at no time be traversed by heavy machinery, for grading or any other purpose after subsoiling and/or topsoiling has taken place.

Making up levels
When subsoil is deposited in low lying areas to raise formation levels, it shall be lightly consolidated and left broken up ready to receive topsoil. Imported fill material shall be natural subsoil free from metal, concrete or organic material with any one dimension greater than 100mm. All imported fill material shall be approved by the Landscape Architect prior to spreading on site.

Supply of topsoil
Topsoil to be supplied shall be approved by the Landscape Architect and details of the source of supply shall be provided in order that inspection may be made before delivery commences. Topsoil shall conform to BS 3882: 2007, clause 4.1a. The soil shall be free of weeds, roots or perennial weeds, pests, diseases, debris, tree roots, sticks, dust and foreign matter and shall be capable of being broken down to a fine tilth.

Temporary topsoil heaps
The depositing of temporary heaps of topsoil shall be so arranged that possible damage to existing grass, plants, tarmac, paving etc. is avoided. Unless otherwise agreed by the Landscape Architect, temporary topsoil heaps shall be on protected ground. Such protection shall take the form of tarpaulins, plastic sheets, boards or similar covering. If damage does occur, it shall be made good at the contractor's own expense. Areas excavated to receive topsoil but have not had the base loosened shall not be used as temporary off loading areas. If the bottom of the excavation has been loosened off, loading on these areas is permissible.

Spreading topsoil
Prior to topsoil replacement the formation level shall be cleared of all stones, rubbish, debris with any one dimension greater than 75mm. Areas to be seeded or turfed shall be covered by topsoil 100mm thick and areas to be planted shall be covered by topsoil 400mm thick. Topsoil shall be spread in an evenly consolidated layer and shall be left cleared of all roots, stones and debris with any one dimension greater than 50mm throughout its depth. Unless otherwise stated the finished level shall be 25mm above adjacent hard areas. No topsoil shall be spread until the subsoil grade has been inspected by a Landscape Architect.

PLANTING

Mulching
A 75mm compacted layer of medium grade pulverised bark, with a particle size of not more than 100mm and containing no more than 10% fines, shall be spread to form a continuous layer covering the whole of the bed, or in the case of standard trees shall be in the form of a circle of 600mm diameter around the base of the tree. Whips and transplants shall be mulched in the form of a 300mm diameter circle around the base of the tree. This is to be maintained up until the sale of the house.

Rejection of plants
Any plant material, which in the opinion of the Landscape Architect, does not meet the requirements of the Specification, or is unsuitable, or defective in any other way, will be rejected. The minimum specified sizes in the plant schedule will be strictly enforced. The contractor shall replace all plants rejected at his own cost.

Planting
All plant material shall generally be planted between November and March in open cool weather. Planting shall not take place in frosty, snowy or waterlogged conditions. Where approved, pot or container grown plants may be planted outside the described season, but adequate watering shall be supplied to ensure roots and branches shall be cleanly pruned prior to planting.

Planting of whips, transplants and shrubs
The nature of the material to be planted is variable and the contractor shall allow for plantings to be properly carried out in all cases as described in BS 4420: 1989 S.9 Woodland, S.9 Shrubs. All plants shall be planted at same depth, or very slightly deeper, as they were grown. Roots shall not be bent, broken or forced into inadequate pits or notches. Plants shall be upright, firm in and wind resistant, with no air pockets around roots. All pots and root wrappings shall be carefully removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to tip. Plants shall be planted at inspecified centres. On steep slopes this shall be in the horizontal measure.

Tree planting
Trees shall conform to BS 3936 and be planted in tree pits of the following sizes unless directed otherwise:
Feathered trees 900 x 900 x 450 up to 3 metres high (0.36m)
Selected standards 1000 x 1000 x 600 up to 4.25 metres high (0.60m)
Heavy Standard and Extra heavy standards 1200 x 1200 x 600
Excavated subsoil or stone shall be carted off site to tip.
The bottom 250mm of the pit shall be dug and broken up. Backfill shall be imported topsoil as specified unless directed otherwise.

Compost for planting pits
Compost shall be a proprietary product, bark based incorporating fertilisers and improving additives. The type of compost shall be approved before its delivery on site, and the details of the product shall be supplied. Compost planting compost is approved. Where directed compost shall be added to and mixed with topsoil backfill at the following rates:
Feathered trees - 1 bag; 80 litres
Selected standards - 1.5 bags; 120 litres
Heavy Standard and Extra heavy standards - 2 bags; 160 litres

Stakes for trees
Stakes shall be peeled round pressure treated softwood, pointed or minimum diameter 75mm. The stakes shall be driven into the base of the tree pit prior to placing the tree and backfilling. Stakes shall in general have a clear height above the finished ground level as follows unless directed otherwise:
Feathered trees - 750mm (one set)
Selected standards - 600mm (2 stakes, one to each)
Heavy Standard and Extra heavy standards - 1200mm (2 stakes, one to each)
The stake shall be long enough to drive until they hold the tree firmly without rocking.

Tree ties
Ties shall be approved nail-on type with cushioned spacer such as Toms, or other equal and approved. Nails shall be flat headed galvanised and shall hold the ties securely into the stake. Ties shall not be over tight on the tree stems. Ties available from J. Toms Limited, Wheeler Street, Headcorn, Ashford, Kent, TN27 9SH.
Feathered Type 04
Select standards Type L1
Heavy Standard and Extra heavy standards Type L3

Planting of trees
The tree shall be set upright and at the same depth as grown in the nursery, the roots shall be spread out and the topsoil, or compost/topsoil mixture, backfilled. Backfilling should be done to ensure close contact between roots and by firming in layers. The soil shall be left level and tidy, any subsoil clods, bricks or stones over 50mm arising, collected and carted off site.

TURFING

Soil preparation and cultivation
All areas to be turfed shall be cultivated to a depth of at least 100mm, all weeds, stones and refuse larger than 50mm shall be removed to Contractor's tip, and shall be brought to a fine tilth. Allow for hand cultivation where machine work is not possible.

Turf
Turf shall be extra-quality meadow turf and shall comply to BS 3669. The contractor shall supply a sample of the turf he proposes to use for approval of the Landscape Architect and shall ensure that all turves are similar to the approved sample. The Contractor shall inform the Landscape Architect of the location of the supply, so that turf can be inspected prior to laying.

Season
Turf shall be laid when weather and soil conditions are suitable and, where possible, preference should be given to autumn and early winter operations. No turf shall be laid in exceptionally dry or frosty weather or in other unsuitable weather conditions.

Delivery and stacking
For large areas, turf shall be delivered at appropriate intervals throughout the work so as to avoid stacking for long periods.

Laying
No turf shall be laid until the soil preparation has been satisfactorily completed by being brought to an even tilth and firmness. Turves from the stack shall be wheeled to turf layers on planks laid closely side by side. Adequate timber planks shall be used to support operatives and barrows, and provide access. The turves shall be laid in consecutive rows with broken joints (stretcher rows), closely butted and to the correct levels. The turf shall be laid off planks working over turves previously laid. Where necessary, the turves shall be lightly and evenly firmed with wooden beaters, the bottom of the beaters being frequently scraped clean of accumulated soil or mud. A dressing of finely sifted topsoil shall be applied and well brushed into the joints. Any inequalities in finished levels owing to variation in turf thickness or uneven consolidation of soil shall be adjusted by raking and/or packing fine soil under the turf. A roller shall not be used. The finished levels of the turf shall conform to the levels indicated, allowing for final settlement. Turf edges and margins shall be laid with whole turves. Turves adjoining buildings, walls or fences shall be taken to the face of the structure, giving complete soil cover.

Laying around trees
Turf shall not be laid to within 300mm of any tree trunk.

Watering
The Contractor shall be responsible for the replacement of any scorched turf. All necessary watering shall be carried out with sprinklers or oscillating sprays so as not to wash soil out of joints, if shrinkage occurs and the joints open, fine topsoil shall be brushed in and well watered.

MAINTENANCE
All maintenance to be carried out up to handover to the adopting authority/ householder from the date of planting and turving to ensure successful establishment. All dead, diseased, damaged plants must be replaced during this time unless the local Planning Authority states, in writing, any variation to this.

Weeding
All beds to be kept weed free by cultivating and by using approved herbicides. Beds to be forked over as necessary to keep soil loose to approved canters with no hollows.

Pruning
At appropriate time, prune plants to remove dead, dying or diseased wood and suckers to promote healthy growth and natural shape.

Watering
The Contractor shall ensure that sufficient water is applied to maintain healthy growth.

Litter
Site to be kept free of litter.

Grass cutting
The initial cut shall be carried out when first growth is apparent, blades set 20mm above ground. The Contractor shall continue cutting at appropriate intervals during the growing season and maintain 40mm high sward until grass areas are handed over. Watering, weeding, cutting, repair of all erosion and settlement and re-seeding as necessary to establish a uniform and healthy stand of grass shall continue until handover to the householder.

PROTECTION TO EXISTING TREES

The recommendations in BS 5837 (2005), *Trees in relation to Construction* must be complied with at all times.
No pruning, lopping, felling or severance of roots is to take place without prior consent of the local authority.
Any work to the existing trees is to be carried out by a qualified tree surgeon.
The position and construction of protective fencing shall be agreed with the local authority prior to any site works commencing.
Under no circumstances must any materials be stored under the canopy of existing trees, and no cement, diesel or oil stored near them.
No vehicles should pass under the canopy of existing trees.
No fires should be lit in close proximity to existing trees.
No ropes, cables, services or notice boards shall be fixed to existing trees.
Under no circumstances should the levels around existing trees be either raised or reduced.
Scaffolding may only be erected within protected areas if it is done so in accordance with BS 5837.
Any excavations under existing tree canopy spreads shall be done by hand.

Amendments to latest layout	Date	Rev
Amendments to latest layout	Mar 11	C
Amendments to latest layout	June 10	B
Amendments to latest layout	Oct 09	A
No dimension to be scaled from this drawing	Date	Rev
© Copyright reserved		

tba
landscape architects

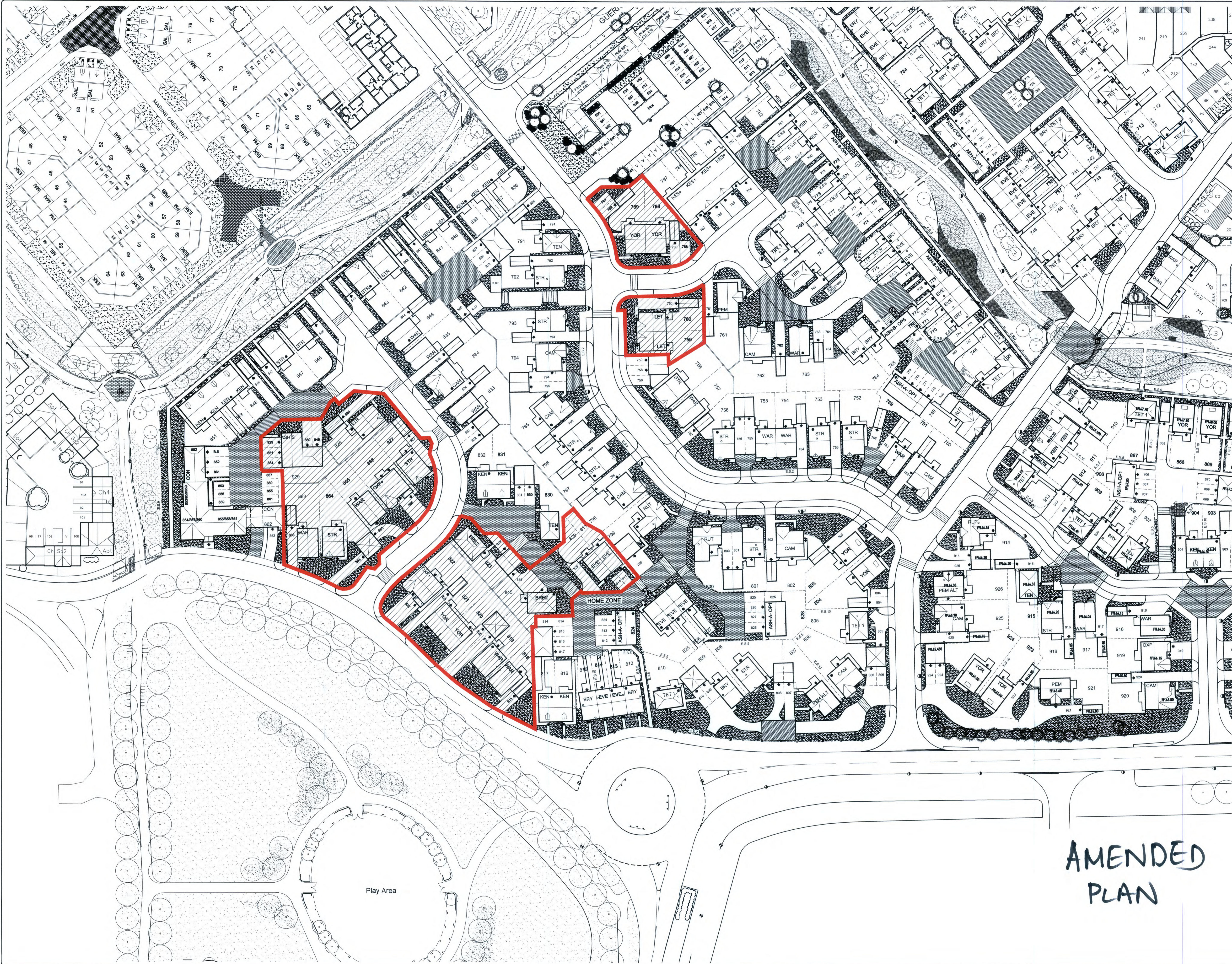
Landscape Architecture
Urban Design
Environmental Planning

7-9 St Michael's Square
Ashton-under-Lyne
Lancs OL6 6LF

Tel: 0161-308 3765
Fax: 0161-343-3513
E-mail: info@trevorbridge.co.uk

Project			
PARCEL 1 PHASE 1; BUCKSHAW VILLAGE, CHORLEY REDROW HOMES LANCASHIRE LIMITED			
Title			
LANDSCAPE STRUCTURE PLAN			
Date	Scale(s)	Dwg no	Rev
JUNE 09	1:500	3649.01	C
Dwn	Chkd		
NF	DG		

This page is intentionally left blank



Survey Information

Legend

- Line to delineate plot boundaries. Refer to Boundary Treatment plan for type of wall/fence
- Location of alternative window positions. To be read in conjunction with house type drawings.
- Indicative position of new tree planting. Refer to Landscape Layout for further details.
- Proposed timber gates to be erected to rear gardens as indicated on site layout. Refer to Commercial Department for size of gates.
- Proposed regular block paving. Refer to Engineer's External Works Plan for further details.
- Proposed Blockpaving to Rumblestrip. Refer to Engineer's External Works Plan for further details.
- Subject to Planning Permission

Item	Description

Mix Schedule

House Type	Spit	No Beds	Quantity
HOUSE TYPES			
The Evesham	879	2	11
The Broadway	816	3	07
The Tetbury 1	900	3	04
The Tetbury	900	3	06
The Oxford	1261	4	02
The Warwick	1017	3	12
The Kenilworth	1070	3	20
The Stratford	1100	4	17
The Kenilworth +	1386	4	04
The Pembroke	1112	4	02
The Letchworth	900	3	02
The York	1262	4	03
The York	1321	4	06
The Cambridge	1331	4	08
APARTMENT TYPES			
The Ashdon	645	2	07
The Apartments			45
The Coniston			2
TOTAL			158

Agenda Page 105

A	22.05.09	Site Plan amended following clients comments	JL, BDC
B	22.05.09	Further amendments following clients comments	JL, BDC
C	01.06.09	Mix schedule amended	CO, RED
D	02.06.09	Changes house types removed & replaced with Greenways. Layout amended around plots 780 to 783 & 791 to 800.	CO, RED
E	05.06.09	Further amendments following planners comments	JL, BDC
F	09.06.09	As above references amended on site layout.	CO, RED
G	23.07.09	Schema revised following planners comments	JL, BDC
H	31.07.09	Schema revised following planners comments	JL, BDC
J	16.09.09	Schema revised following planners comments	NA, RED
K	20.10.09	Site Layout updated to suit Replan approval. Garage Pitches amended to suit C-Series design.	HC, RED
L	27.10.09	House type schedule amended.	HC, RED
M	03.02.10	Finalised floor levels added & reference added for Pembroke "ALT" to indicate the use of alternative services.	CO, RED
N	11.03.10	Tetbury 2 removed to Tetbury.	JS, RED
O	28.07.10	Site Layout updated to suit Replan approval. Plot 780 positioning and surrounding areas amended.	HC, RED
P	12.08.10	House names changed to Tetbury.	HC, RED
Q	13.10.10	Op2 and A4 references added and Tetbury 2 removed.	CB, RED
R	24.01.11	Site plan amended further to Technical comments.	MC, RED
S	18.02.11	Site amendments further to L.A. comments.	MC, RED

CHORLEY COUNCIL
CORPORATE SUPPORT SERVICES
UNION STREET OFFICES
11 MAR 2011 A1
101010

Revision	Date	Amendment	By

Town Farm,
17 Orford Close,
Golborne,
Warrington,
Cheshire,
WA3 3WP
Tel: 01942 719513
Mob: 07773343602
e-mail: graham.baldwin@bdc.gb.com

baldwin
design
consultancy Limited

Development: BUCKSHAW_PARCEL_1_PH2

Location: BUCKSHAW_VILLAGE_CHORLEY

Marketing Name: THE_VILLAGE

Drawing Title: DETAILED_SITE_LAYOUT

Drawing Number: BV-IPH2-11-02-002

Revision: S Scale: @ A 1 1:500

Drawn By: CB Date Started: 29-07-09

Checked by: Date:

AMENDED
PLAN

Agenda Item 4b

REDROW
HOMES
Redrow Homes (Lancashire) Limited
Redrow House, 14 Eaton Avenue, Buckshaw Village, Chorley, Lancashire PR7 7NA
Tel: 01772 643700 Fax: 01772 643701 Web: www.redrow.co.uk

Legal Disclaimer TBC
This layout has been designed after due consideration of our Contract & Conditions Plan

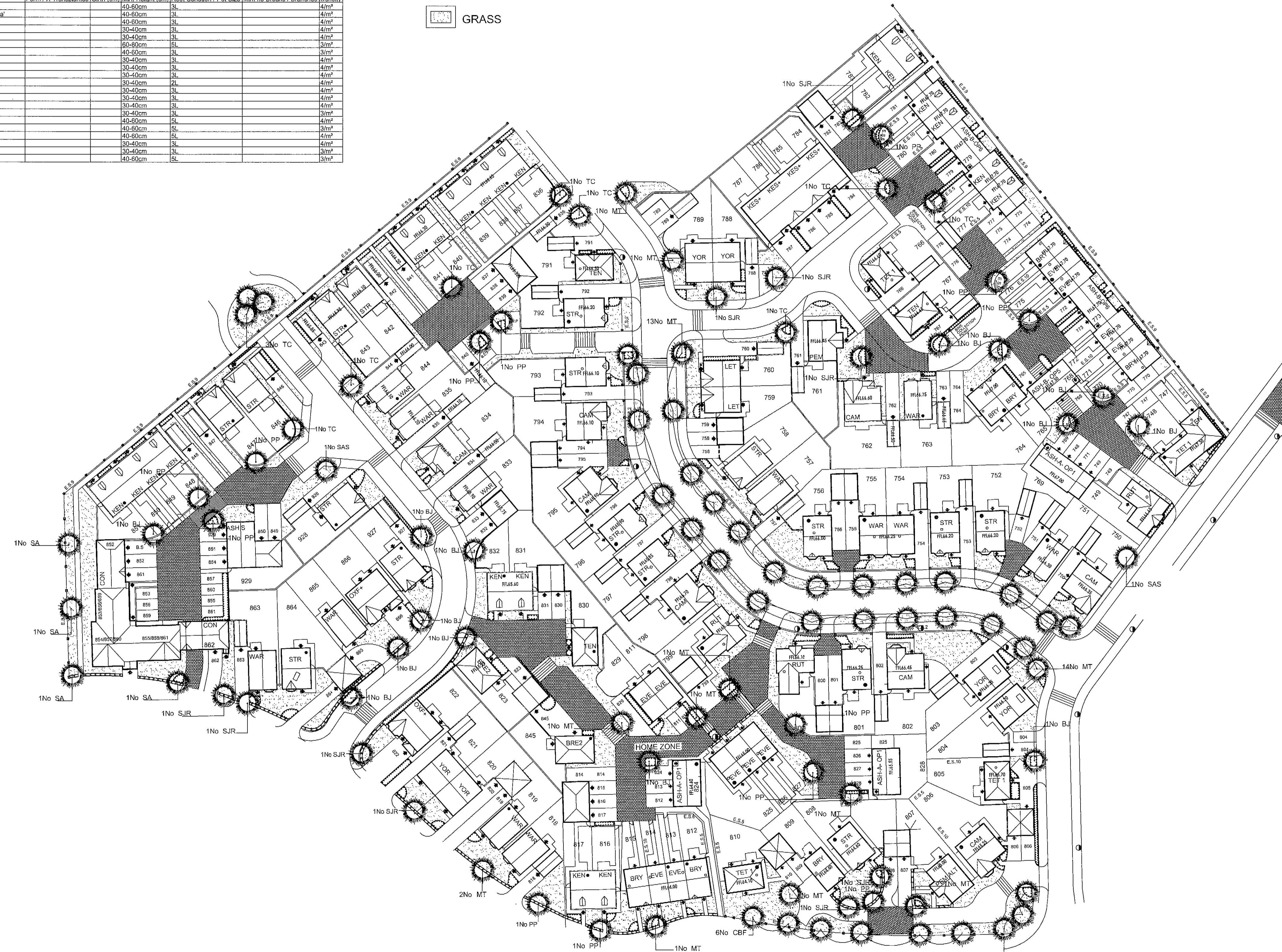
This page is intentionally left blank

PLANT SCHEDULE

TREES						
Abb.	Botanical Name	Form / X Transplanted	Girth (cm)	Min. Height (cm)	Root Condition / Pot Size	Min. no. Breaks / Habit Density
BJ	Betula utilis 'Jacquemontii'	Heavy Standard: 3x	12-14cm	350-425cm	RB	4m ²
CBF	Carpinus betulus 'Fastigiata'	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
MT	Malus tchotchoki	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
PP	Prunus padus	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
SAS	Sorbus aucuparia 'Sheenwater Seedling'	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
SA	Sorbus aucuparia	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
SJR	Sorbus 'Jaspes Rock'	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
TC	Tilia cordata	Heavy Standard: 3x	12-14cm	350-425cm	B	4m ²
HEDGES - To be planted in a double, staggered row & maintained to a height of 1.2M						
Botanical Name	Form / X Transplanted	Girth (cm)	Min. Height (cm)	Root Condition / Pot Size	Min. no. Breaks / Branches	Density
Prunus laurocerasus		60-80cm	SL			3m
Prunus laurocerasus 'Otto Luyken'		60-80cm	SL			4m
SHRUBS						
Botanical Name	Form / X Transplanted	Girth (cm)	Min. Height (cm)	Root Condition / Pot Size	Min. no. Breaks / Branches	Density
Aucuba japonica 'Variegata'		40-60cm	3L			4m ²
Berberis thunbergii 'Atropurpurea Nana'		40-60cm	3L			4m ²
Ceanothus 'Blue Mound'		40-60cm	3L			4m ²
Chamaecyparis 'Sundance'		30-40cm	3L			4m ²
Coleraster horizontalis		30-40cm	3L			4m ²
Elaeagnus pungens 'Maculata'		60-80cm	5L			3m ²
Escallonia 'Donald Seedling'		40-60cm	3L			3m ²
Eucomya fortunei 'Silver Queen'		30-40cm	3L			4m ²
Hebe pinnatifida 'Peach'		30-40cm	3L			4m ²
Hebe albicans 'Red Edge'		30-40cm	3L			4m ²
Hedera helix		30-40cm	2L			4m ²
Lavandula angustifolia 'Munstead'		30-40cm	3L			4m ²
Lonicera nitida 'Baggesen's Gold'		30-40cm	3L			4m ²
Lonicera pileata		30-40cm	3L			4m ²
Mahonia x media 'Charity'		30-40cm	3L			3m ²
Photinia x fraseri 'Red Robin'		40-60cm	5L			4m ²
Pieris 'Forest Flame'		40-60cm	5L			3m ²
Prunus laurocerasus 'Otto Luyken'		40-60cm	5L			4m ²
Senecio 'Sunshine'		30-40cm	3L			4m ²
Skimmia japonica		30-40cm	3L			3m ²
Viburnum tinus 'Eve Price'		40-60cm	5L			3m ²

KEY

- TREE
- HEDGE
- SHRUB BED
- GRASS



SPECIFICATION
GROUND PREPARATION - GENERAL

Preparing for topsoiling
 Subsoil that is to receive topsoil shall, whether obviously overcompacted or not, be thoroughly broken up by hand, by heavy rotavator, by subsoiler or lined equipment with adequate passes made to thoroughly break up the surface to a depth of 150mm, cleared of all large stones, bricks, perennial weeds, tree roots (excluding living tree roots), coarse vegetation and other extraneous matter.

Subsoil grading
 Subsoil shall only be graded after loosening as above, and this shall be undertaken by the use of a tractor and blade grader on large areas and by a small mechanical grader or by hand on small areas. Ground shall at no time be traversed by heavy machinery, for grading or any other purpose after subsoiling and/or topsoiling has taken place.

Making up levels
 When subsoil is deposited in low lying areas to raise formation levels, it shall be lightly consolidated and left broken up ready to receive topsoil. Imported fill material shall be natural subsoil free from metal, concrete or organic material with any one dimension greater than 100mm. All imported fill material shall be approved by the Landscape Architect prior to spreading on site.

Supply of topsoil
 Topsoil to be supplied shall be approved by the Landscape Architect and details of the source of supply shall be provided in order that inspection may be made before delivery commences. Topsoil shall conform to BS 3882:2007, clause 4.1a. The soil shall be free of weeds, roots or perennial weeds, pests, diseases, debris, tree roots, sticks, subsoil and foreign matter and shall be capable of being broken down to a fine silt.

Temporary topsoil heaps
 The depositing of temporary heaps of topsoil shall be so arranged that possible damage to existing grass, plants, sarracenia, paving etc, is avoided. Unless otherwise agreed by the Landscape Architect, temporary topsoil heaps shall be on protected ground. Such protection shall take the form of temporary, plastic sheets, boards or similar covering. If damage does occur, it shall be made good at the contractor's own expense. Areas excavated to receive topsoil but have not had the topsoil recovered shall not be used as temporary off loading areas. If the bottom of the excavation has been loosened off, loading on these areas is permissible.

Spreading topsoil
 Prior to topsoil replacement the formation level shall be cleared of all stones, rubbish, debris with any one dimension greater than 75mm. Areas to be seeded or planted shall be covered by topsoil 100mm thick and areas to be planted shall be covered by topsoil 400mm thick. Topsoil shall be spread in an evenly consolidated layer and shall be left cleared of all roots, stones and debris with any one dimension greater than 50mm throughout its depth. Unless otherwise stated the finished level shall be 25mm above adjacent hard areas. No topsoil shall be spread until the subsoil grade has been inspected by a Landscape Architect.

PLANTING

Mulching
 A 75mm compacted layer of medium grade pulverised bark, with a particle size of not more than 100mm and containing no more than 10% fines, shall be spread to form a continuous layer covering the whole of the bed, or in the case of standard trees shall be in the form of a circle of 600mm diameter around the base of the tree. Whips and transplants shall be mulched in the same manner. All pots and wrappings shall be removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to site. Plants shall be planted at the specified centres. On steep slopes this shall be in the horizontal measure.

Rejection of plants
 Any plant material, which in the opinion of the Landscape Architect, does not meet the requirements of the Specification, or is defective in any other way, will be rejected. The minimum specified sizes in the plant schedule will be strictly enforced. The contractor shall replace all plants rejected at his own cost.

Planting
 All plant material shall generally be planted between November and April, or in a frost-free period. Planting shall be carried out in frosty, snowy or waterlogged conditions. Where approved, pot or container grown plants may be planted outside the described season, but adequate watering shall be supplied. Torn or damaged roots and branches shall be clearly protected prior to planting.

Planting of whips, transplants and shrubs
 The nature of the material to be planted is variable and the contractor shall allow for planting to be properly carried out in all cases as described in BS 4428: 1999 5.0 Woodland, 5.9 Shrubs. All plants shall be planted at same depth, or very slightly deeper, as they were grown. Roots shall not be bent, broken or forced into inadequate pits or notches. Plants shall be upright, firm and wind resistant, with no air pockets around roots. All pots and root wrappings shall be carefully removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to site. Plants shall be planted at the specified centres. On steep slopes this shall be in the horizontal measure.

Tree planting
 Trees shall conform to BS 3395 and be planted in tree pits of the following sizes unless directed otherwise:
 Feathered trees 900 x 900 x 450 up to 3 metres high (0.36m)
 Selected standards 1000 x 1000 x 600 up to 4.25 metres high (0.60m)
 Heavy Standard and Extra heavy standards 1200 x 1200 x 600
 Excavated subsoil or stone shall be carted off site to tip. The bottom 250mm of the pit shall be dug and broken up. Backfill with directed topsoil as specified unless directed otherwise.

Compost for planting pits
 Compost shall be a proprietary product, bark based incorporating fertilisers and improving additives. The type of compost shall be approved before its delivery on site, and the details of the product shall be supplied. Compost planting compost is approved. Where directed compost shall be added to and mixed with topsoil backfill at the following rates:
 Feathered trees - 1 bag: 80 litres
 Selected standards - 1.5 bags: 120 litres
 Heavy Standard and Extra heavy standards - 2 bags: 160 litres

Stakes for trees
 Stakes shall be peeled round pressure treated softwood, pointed or minimum diameter 75mm. The stakes shall be driven into the base of the tree pit prior to placing the tree and backfilling. Stakes shall in general have a clear height above the finished ground level as follows unless directed otherwise:
 Feathered trees - 750mm (one tie)
 Selected standards - 900mm (2 stakes, one tie each)
 Heavy Standard and Extra heavy standards - 1200mm (2 stakes, one tie each)
 The stake shall be long enough to drive until they hold the tree firmly without rocking.

Tree ties
 Ties shall be approved nail-on type with cushioned spacer such as Toms, or other equal and approved. Nails shall be flat headed galvanised and shall hold the ties securely into the stake. Ties shall not be over tight on the tree stems. Ties available from 3 Tons Limited, Wheeler Street, Haspourn, Ashford, Kent, TN27 9SH. Feathered Type 04
 Selected standards Type L1
 Heavy Standard and Extra heavy standards Type L3

Planting of trees
 The tree shall be set upright and at the same depth as grown in the nursery, the roots shall be spread out and the topsoil or compost/topsoil mixture, backfilled. Backfilling should be done to ensure close contact between roots and by firming in layers. The soil shall be left level and dry, any subsoil roots, bricks or stones over 50mm arising, collected and carted off site.

TURFING

Soil preparation and cultivation
 All areas to be turfed shall be cultivated to a depth of at least 100mm, all weeds, stones and refuse larger than 50mm shall be removed to Contractor's tip, and shall be brought to a fine silt. Allow for hand cultivation where machine work is not possible.

Turf
 Turf shall be extra-quality meadow turf and shall comply to BS 3695. The contractor shall supply a sample of the turf he proposed to use for approval of the Landscape Architect and shall ensure that all turves are similar to the approved sample. The Contractor shall inform the Landscape Architect of the location of the supply, so that turf can be inspected prior to lifting.

Specification
GROUND PREPARATION - GENERAL

Preparing for topsoiling
 Subsoil that is to receive topsoil shall, whether obviously overcompacted or not, be thoroughly broken up by hand, by heavy rotavator, by subsoiler or lined equipment with adequate passes made to thoroughly break up the surface to a depth of 150mm, cleared of all large stones, bricks, perennial weeds, tree roots (excluding living tree roots), coarse vegetation and other extraneous matter.

Subsoil grading
 Subsoil shall only be graded after loosening as above, and this shall be undertaken by the use of a tractor and blade grader on large areas and by a small mechanical grader or by hand on small areas. Ground shall at no time be traversed by heavy machinery, for grading or any other purpose after subsoiling and/or topsoiling has taken place.

Making up levels
 When subsoil is deposited in low lying areas to raise formation levels, it shall be lightly consolidated and left broken up ready to receive topsoil. Imported fill material shall be natural subsoil free from metal, concrete or organic material with any one dimension greater than 100mm. All imported fill material shall be approved by the Landscape Architect prior to spreading on site.

Supply of topsoil
 Topsoil to be supplied shall be approved by the Landscape Architect and details of the source of supply shall be provided in order that inspection may be made before delivery commences. Topsoil shall conform to BS 3882:2007, clause 4.1a. The soil shall be free of weeds, roots or perennial weeds, pests, diseases, debris, tree roots, sticks, subsoil and foreign matter and shall be capable of being broken down to a fine silt.

Temporary topsoil heaps
 The depositing of temporary heaps of topsoil shall be so arranged that possible damage to existing grass, plants, sarracenia, paving etc, is avoided. Unless otherwise agreed by the Landscape Architect, temporary topsoil heaps shall be on protected ground. Such protection shall take the form of temporary, plastic sheets, boards or similar covering. If damage does occur, it shall be made good at the contractor's own expense. Areas excavated to receive topsoil but have not had the topsoil recovered shall not be used as temporary off loading areas. If the bottom of the excavation has been loosened off, loading on these areas is permissible.

Spreading topsoil
 Prior to topsoil replacement the formation level shall be cleared of all stones, rubbish, debris with any one dimension greater than 75mm. Areas to be seeded or planted shall be covered by topsoil 100mm thick and areas to be planted shall be covered by topsoil 400mm thick. Topsoil shall be spread in an evenly consolidated layer and shall be left cleared of all roots, stones and debris with any one dimension greater than 50mm throughout its depth. Unless otherwise stated the finished level shall be 25mm above adjacent hard areas. No topsoil shall be spread until the subsoil grade has been inspected by a Landscape Architect.

PLANTING

Mulching
 A 75mm compacted layer of medium grade pulverised bark, with a particle size of not more than 100mm and containing no more than 10% fines, shall be spread to form a continuous layer covering the whole of the bed, or in the case of standard trees shall be in the form of a circle of 600mm diameter around the base of the tree. Whips and transplants shall be mulched in the same manner. All pots and wrappings shall be removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to site. Plants shall be planted at the specified centres. On steep slopes this shall be in the horizontal measure.

Rejection of plants
 Any plant material, which in the opinion of the Landscape Architect, does not meet the requirements of the Specification, or is defective in any other way, will be rejected. The minimum specified sizes in the plant schedule will be strictly enforced. The contractor shall replace all plants rejected at his own cost.

Planting
 All plant material shall generally be planted between November and April, or in a frost-free period. Planting shall be carried out in frosty, snowy or waterlogged conditions. Where approved, pot or container grown plants may be planted outside the described season, but adequate watering shall be supplied. Torn or damaged roots and branches shall be clearly protected prior to planting.

Planting of whips, transplants and shrubs
 The nature of the material to be planted is variable and the contractor shall allow for planting to be properly carried out in all cases as described in BS 4428: 1999 5.0 Woodland, 5.9 Shrubs. All plants shall be planted at same depth, or very slightly deeper, as they were grown. Roots shall not be bent, broken or forced into inadequate pits or notches. Plants shall be upright, firm and wind resistant, with no air pockets around roots. All pots and root wrappings shall be carefully removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to site. Plants shall be planted at the specified centres. On steep slopes this shall be in the horizontal measure.

Tree planting
 Trees shall conform to BS 3395 and be planted in tree pits of the following sizes unless directed otherwise:
 Feathered trees 900 x 900 x 450 up to 3 metres high (0.36m)
 Selected standards 1000 x 1000 x 600 up to 4.25 metres high (0.60m)
 Heavy Standard and Extra heavy standards 1200 x 1200 x 600
 Excavated subsoil or stone shall be carted off site to tip. The bottom 250mm of the pit shall be dug and broken up. Backfill with directed topsoil as specified unless directed otherwise.

Compost for planting pits
 Compost shall be a proprietary product, bark based incorporating fertilisers and improving additives. The type of compost shall be approved before its delivery on site, and the details of the product shall be supplied. Compost planting compost is approved. Where directed compost shall be added to and mixed with topsoil backfill at the following rates:
 Feathered trees - 1 bag: 80 litres
 Selected standards - 1.5 bags: 120 litres
 Heavy Standard and Extra heavy standards - 2 bags: 160 litres

Stakes for trees
 Stakes shall be peeled round pressure treated softwood, pointed or minimum diameter 75mm. The stakes shall be driven into the base of the tree pit prior to placing the tree and backfilling. Stakes shall in general have a clear height above the finished ground level as follows unless directed otherwise:
 Feathered trees - 750mm (one tie)
 Selected standards - 900mm (2 stakes, one tie each)
 Heavy Standard and Extra heavy standards - 1200mm (2 stakes, one tie each)
 The stake shall be long enough to drive until they hold the tree firmly without rocking.

Tree ties
 Ties shall be approved nail-on type with cushioned spacer such as Toms, or other equal and approved. Nails shall be flat headed galvanised and shall hold the ties securely into the stake. Ties shall not be over tight on the tree stems. Ties available from 3 Tons Limited, Wheeler Street, Haspourn, Ashford, Kent, TN27 9SH. Feathered Type 04
 Selected standards Type L1
 Heavy Standard and Extra heavy standards Type L3

Planting of trees
 The tree shall be set upright and at the same depth as grown in the nursery, the roots shall be spread out and the topsoil or compost/topsoil mixture, backfilled. Backfilling should be done to ensure close contact between roots and by firming in layers. The soil shall be left level and dry, any subsoil roots, bricks or stones over 50mm arising, collected and carted off site.

TURFING

Soil preparation and cultivation
 All areas to be turfed shall be cultivated to a depth of at least 100mm, all weeds, stones and refuse larger than 50mm shall be removed to Contractor's tip, and shall be brought to a fine silt. Allow for hand cultivation where machine work is not possible.

Turf
 Turf shall be extra-quality meadow turf and shall comply to BS 3695. The contractor shall supply a sample of the turf he proposed to use for approval of the Landscape Architect and shall ensure that all turves are similar to the approved sample. The Contractor shall inform the Landscape Architect of the location of the supply, so that turf can be inspected prior to lifting.

Season
 Turf shall be laid when weather and soil conditions are suitable and, where possible, preference should be given to autumn and early winter operations. No turf shall be laid in exceptionally dry or frosty weather or in other unsuitable weather conditions.

Delivery and stacking
 For large areas, turf shall be delivered at appropriate intervals throughout the work so as to avoid stacking for long periods.

Laying
 No turf shall be laid until the soil preparation has been satisfactorily completed by being brought to an even silt and firmness. Turves from the stack shall be wheeled to turf layers on planks laid closely side by side. Accurate timber planks shall be used to support operatives and barrows, and provide access. The turves shall be laid in consecutive rows with broken joints (stretchers bars), closely butted and to the correct levels. The turf shall be laid off planks working over turves previously laid. Where necessary, the turves shall be lightly and evenly firmed with wooden beaters, the bottom of the beaters being frequently scraped clean of accumulated soil or mud. A dressing of finely sifted topsoil shall be applied and well brushed into the joints. Any inequalities in finished levels owing to variation in turf thickness or uneven consolidation of soil shall be adjusted by raking and/or packing fine soil under the turf. A roller shall not be used. The finished levels of the turf shall conform to the levels indicated, allowing for final settlement. Turf edges and margins shall be laid with whole turves. Turves adjoining buildings, walls or fences shall be taken to the face of the structure, giving complete soil cover.

Laying around trees
 Turf shall not be laid to within 300mm of any tree trunk.

Watering
 The contractor shall be responsible for the replacement of any scorched turf. All necessary watering shall be carried out with sprinklers or oscillating sprays so as not to wash soil out of joints. If shrinkage occurs and the joints open, fine topsoil shall be brushed in and well watered.

MAINTENANCE
 All maintenance to be carried out up to handover to the adopting authority/ householder from the date of planting and turfing to ensure successful establishment. All dead, diseased, damaged plants must be replaced during this time unless the local Planning Authority states, in writing, any variation to this.

Weeding
 All beds to be kept weed free by cultivating and by using approved herbicides. Beds to be forked over as necessary to keep soil loose to approved cambers with no hollows.

Pruning
 At appropriate time, prune plants to remove dead, dying or diseased wood and suckers to promote healthy growth and natural shape.

Watering
 The contractor shall ensure that sufficient water is applied to maintain healthy growth.

Litter
 Site to be kept free of litter.

Grass cutting
 The first cut shall be carried out when first grass is apparent, blades set 20mm above ground. The contractor shall continue cutting at appropriate intervals during the growing season and maintain 40mm high sward until grass areas are handed over. Watering, weeding, cutting, repair of all erosion and settlement and re-seeding as necessary to establish a uniform and healthy stand of grass shall continue until handover to the householder.

PROTECTION TO EXISTING TREES
 The recommendations in BS 5837 (2005). Trees in relation to construction must be protected at all times. No pruning, lopping, felling or severance of roots is to take place without prior consent of the local authority. Any work to the existing trees is to be carried out by a qualified tree surgeon. The position and construction of protective fencing shall be agreed with the local authority prior to any site works commencing. Under no circumstances must any materials be stored under the canopy of existing trees, and no cement, diesel or oil stored near them. No vehicles should pass under the canopy of existing trees. No fires should be lit in close proximity to existing trees. No ropes, cables, services or notice boards shall be fixed to existing trees. Under no circumstances should the levels around existing trees be either raised or reduced. Scaffolding may only be erected within protected areas if it is done so in accordance with BS 5837. Any excavations under existing trees canopy spreads shall be done by hand.

Amendments to latest layout	Date	Rev
Amendments to latest layout	10/11/10	C
Amendments to latest layout	Mar 11	B
Amendments to latest layout	June 10	A
Amendments to latest layout	July 09	A

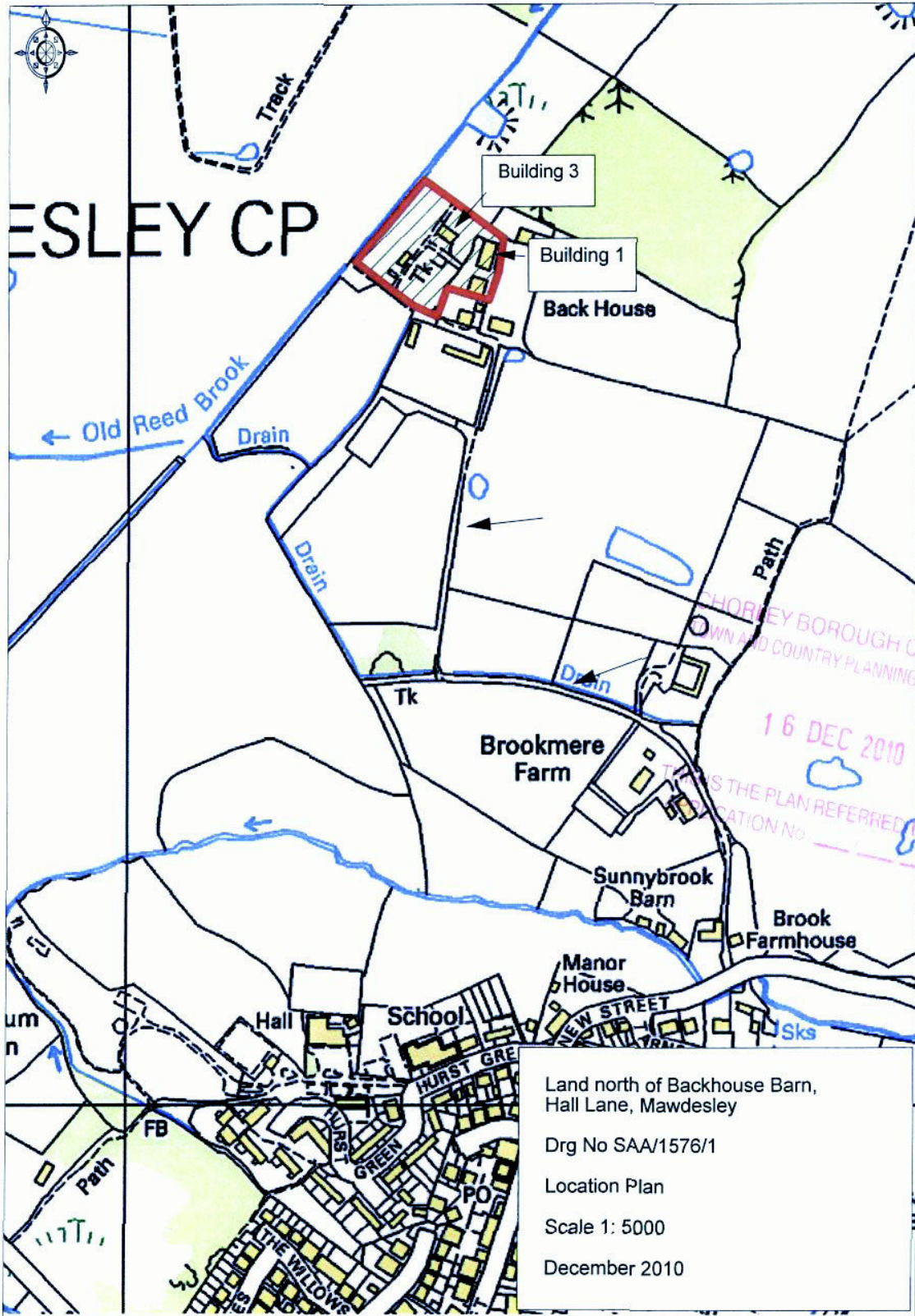
Landscape Architecture
 Urban Design
 Environmental Planning

7-9 St Michael's Square
 Ashton-under-Lyne
 Lancs OL6 6LF

Tel: 0161-368 3765
 Fax: 0161-343 3513
 E-mail: info@trevorbridge.co.uk

Date	Scale(s)	Dwg no	Rev
June 09	1:200	3649.02	C
Dwn	Chkd		
NF	DG		

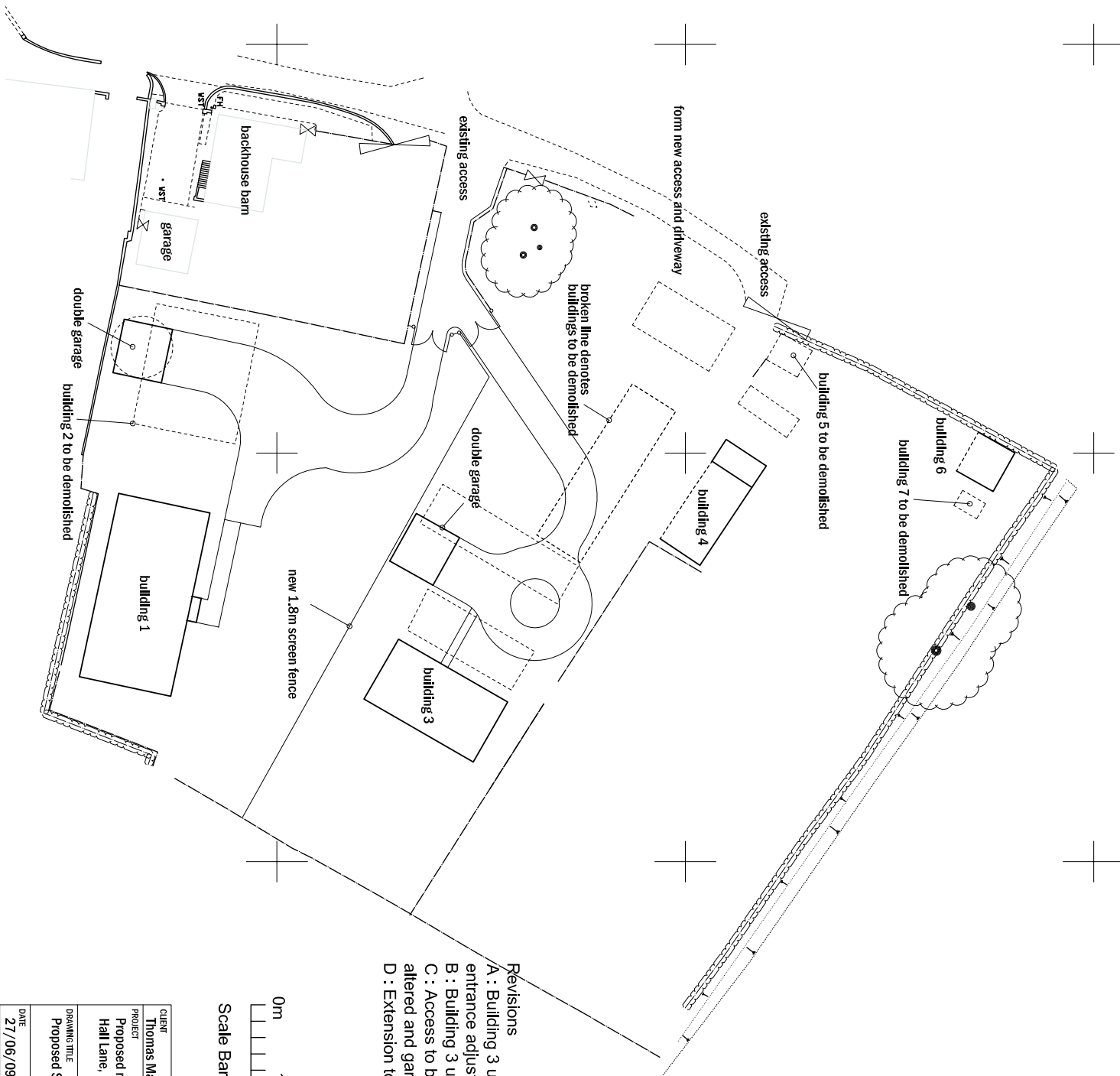
This page is intentionally left blank



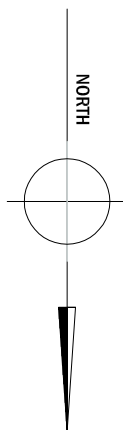
Ordnance Survey © Crown Copyright 2010. All rights reserved.
 Licence number 100020449. Plotted Scale - 1:5000



This page is intentionally left blank



NORTH




Revisions

- A : Building 3 updated to match new planning type and driveway and entrance adjusted. asl 10/03/10
- B : Building 3 updated to match Rev.B planning type asl 21/06/10
- C : Access to building 3 altered; building 5 & 7 to be demolished; bldg.3 altered and garages reduced in size. asl 12/10/10
- D : Extension to building 3 deleted. asl 01/02/11

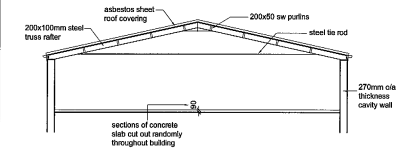


Scale Bar 1:500

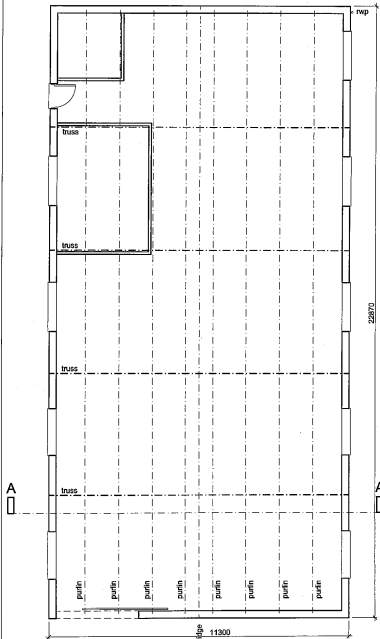
CLIENT		Thomas Mawdsley Building Contractors	
PROJECT		Proposed redevelopment of land North of Backhouse Barn, Hall Lane, Mawdsley	
DRAWING TITLE		Proposed Site Layout	
DATE	SCALE	DRAWN	DWG. No.
27/06/09	1:500 @ A3	asl	08/133/P01
		REV	
		D	
 ARCHITECTURAL CONSULTANTS 213 PRESTON ROAD WHITLEY WOODS LANCASHIRE PR6 7FS TEL: 01257 261555 FAX: 01257 261224 www.lmpconsultants.co.uk © Copyright Lanson Management Practice Ltd.			

This page is intentionally left blank

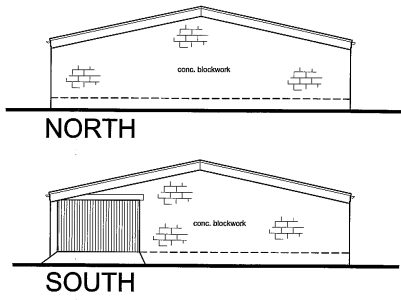
BUILDING 1



SECTION A-A

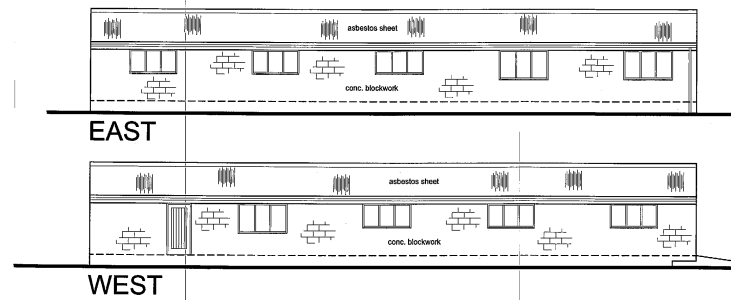


FLOOR PLAN



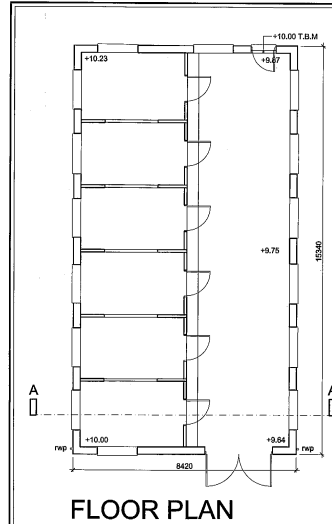
NORTH

SOUTH



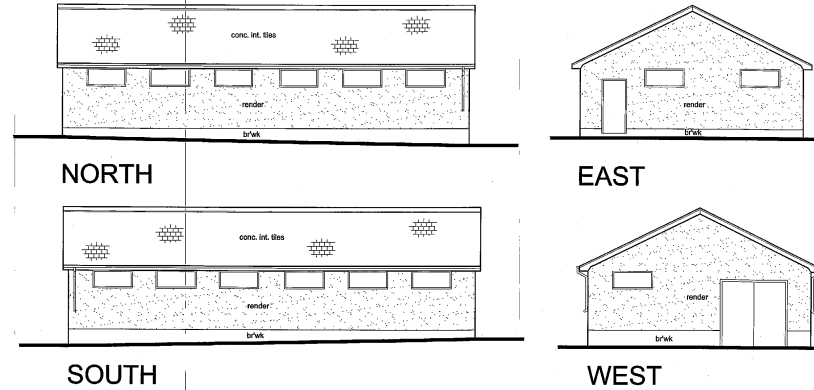
EAST

WEST



FLOOR PLAN

ELEVATIONS



NORTH

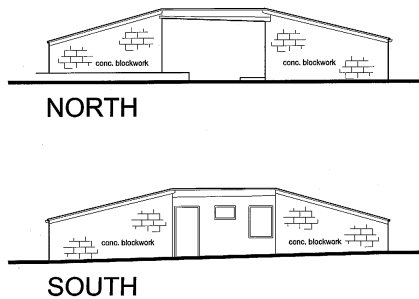
SOUTH

EAST

WEST

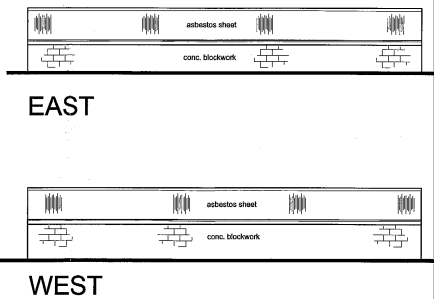
BUILDING 3

BUILDING 2



NORTH

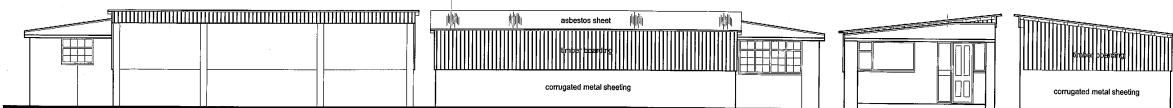
SOUTH



EAST

WEST

BUILDING 4

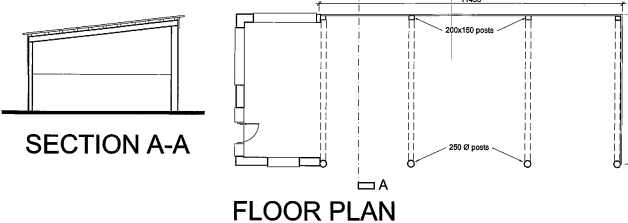


EAST

WEST

SOUTH

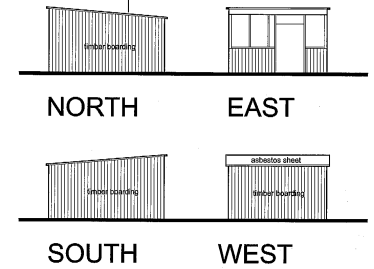
NORTH



SECTION A-A

FLOOR PLAN

BUILDING 5



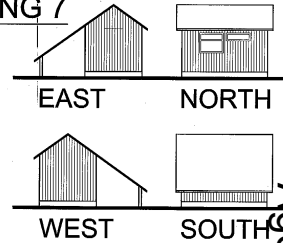
NORTH

SOUTH

EAST

WEST

BUILDING 7



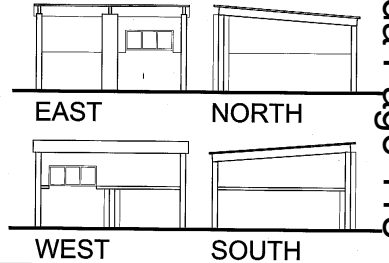
EAST

WEST

NORTH

SOUTH

BUILDING 6



EAST

WEST

NORTH

SOUTH

Agenda Page 113

Agenda Item 4c

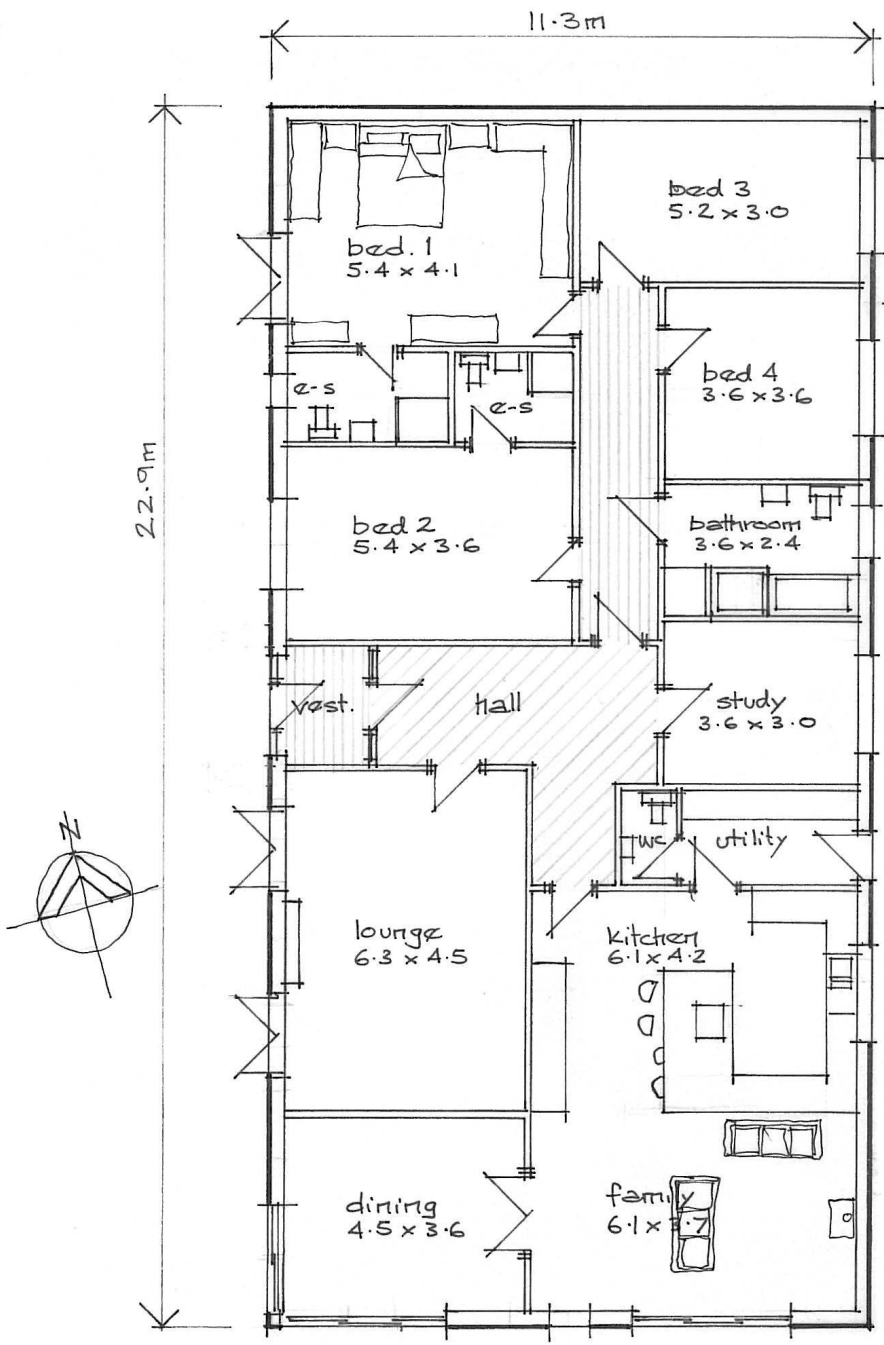
CHORLEY BOROUGH COUNCIL
TOWN AND COUNTRY PLANNING OFFICE
16 DEC 2010
THIS IS THE PLAN REFERRED TO IN APPLICATION NO. 10/1251

0m 2m 4m 6m 8m 10m
Scale Bar 1:100

CLIENT	Thomas Mawdsley Building Contractors.
PROJECT	Proposed Redevelopment of land north of Backhouse Barn, Hall Lane, Mawdsley.
DRAWING TITLE	Existing Building Survey Details.
DATE	25.11.2008
SCALE	1:100 @ A1
DRAWN	GJF
DRWS No.	08/133/E01
REV	

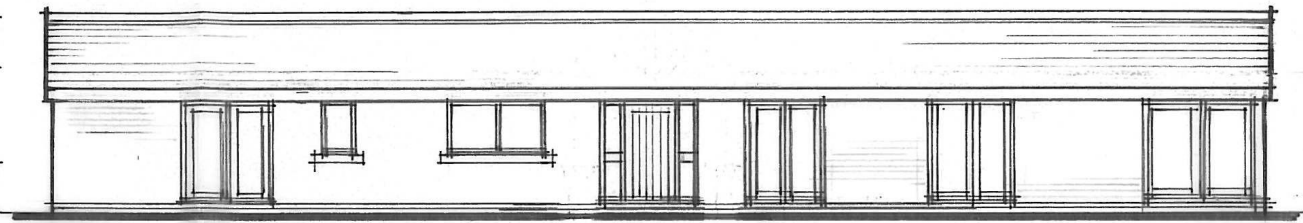
LMP ARCHITECTURAL CONSULTANTS
218 FRESHWATER ROAD
WHITTLE LE WOODS
CHORLEY
LANCASHIRE
PR9 7PE
TEL: 01257 261555
FAX: 01257 261224
www.lmparchitects.co.uk
© Copyright Lawson Margeson Practice Ltd.

This page is intentionally left blank



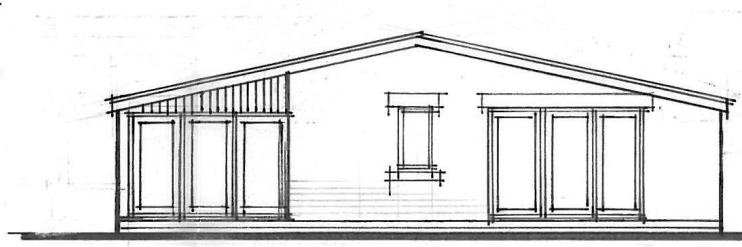
floor plan

overall internal dimensions
 = 10.7 x 22.2 m
 = 237 sq.m (2557 sq.ft.)



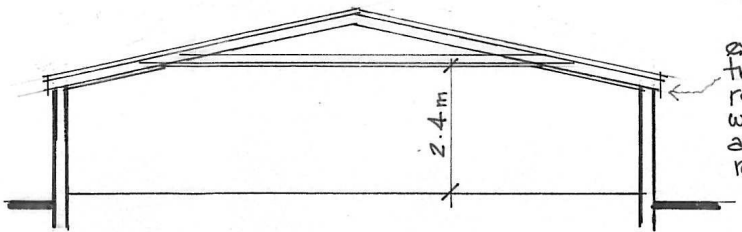
West elevation

all proposed materials to l.a. approval



south elevation

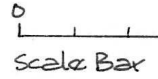
3.55
 1.95
 AF
 artstone heads & sills
 clay facing brick
 PVCU windows
 timber doors



section

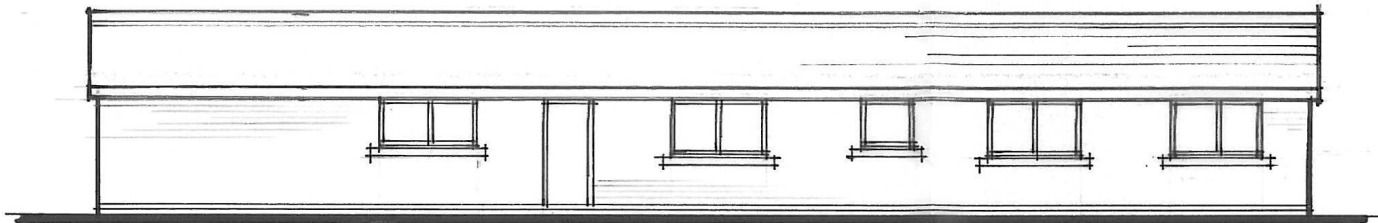
existing clad roof on steel trusses to be removed, and replaced with timber roof structure with the same ridge & eaves height and pitch as existing. roof finish to be agreed.

Revisions
 A: Roof pitch reduced to 20°. Ridge lowered by 600mm. asl 12/10/10
 B: Original roofline reinstated; entrance canopy deleted. asl 01/02/11

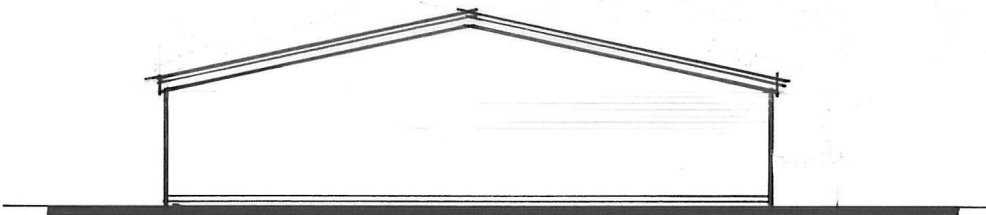


CLIENT	thomas mawdsley building contractors		
PROJECT	Conversion of existing buildings to residential at land North of Backhousez Barn, Hall Lane, Mawdsley.		
DRAWING TITLE	building 1 - proposed plan, section & elevations		
DATE	27/06/09	SCALE	1:100 @ A3
DRAWN	asl	DRWG No.	08/133/PO2
REV	B		

LMP
 ARCHITECTURAL CONSULTANTS
 213 PRESTON ROAD
 WHITTLE-LE-WOODS
 CHORLEY
 LANCASHIRE
 PR6 7PS
 TEL: 01257 261555
 FAX: 01257 26224
 www.lmparchitects.co.uk
 © Copyright Lawson Margerison Practice Ltd.

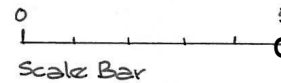


east elevation



north elevation

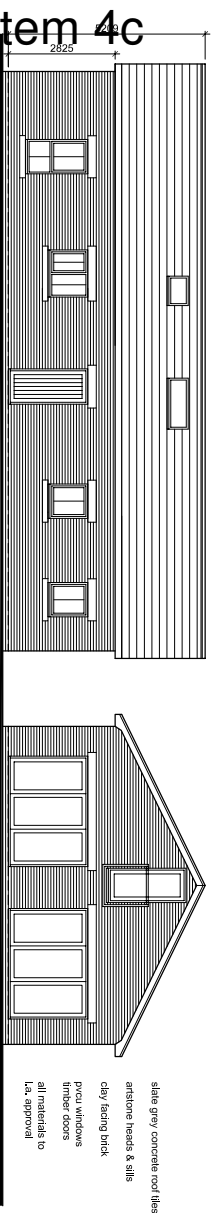
Revisions
 A: Roof pitch reduced to 20°. Ridge lowered by 600mm. asl 12/10/10
 B: Original roofline reinstated; entrance canopy deleted. asl 01/02/11



CLIENT	thomas mawdsley building contractors				
PROJECT	conversion of existing buildings to residential at land North of Backhouse Barr, Hall Lane, Mawdsley				
DRAWING TITLE	building 1 - proposed elevations				
DATE	27/06/09	SCALE	1:100 @A3	REV	B
		DRAWN	asl	DRWG No.	08/133/P04

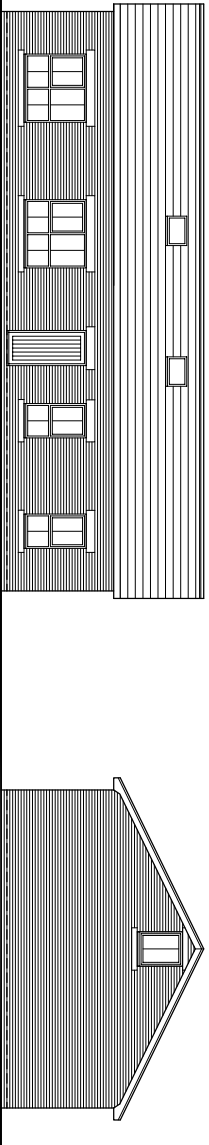


ARCHITECTURAL CONSULTANTS
 213 PRESTON ROAD
 WHITTLE-LE-WOODS
 CHORLEY
 LANCASHIRE
 P66 7PS
 TEL: 01257 261555
 FAX: 01257 267224
 www.lmparchitects.co.uk
 © Copyright Lawson Margerison Practice Ltd.



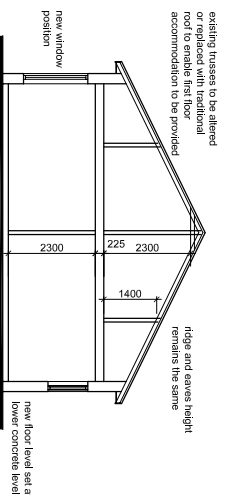
SOUTH ELEVATION

WEST ELEVATION

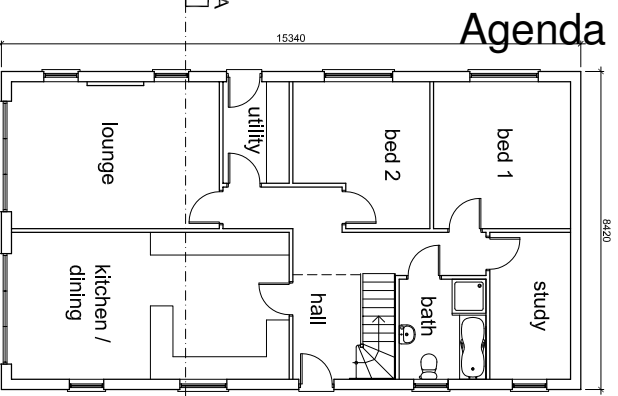


NORTH ELEVATION

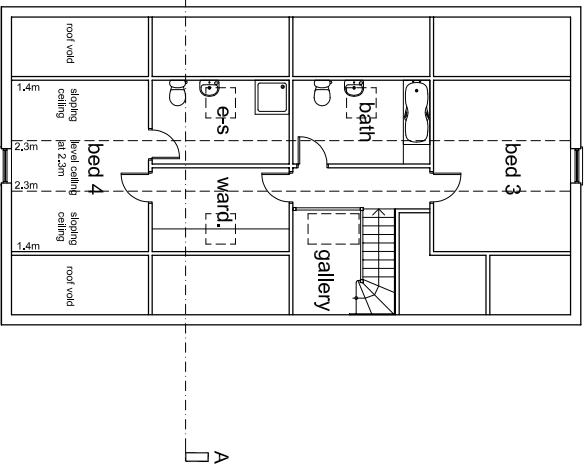
EAST ELEVATION



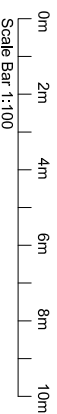
SECTION A-A



GROUND FLOOR PLAN



FIRST FLOOR PLAN

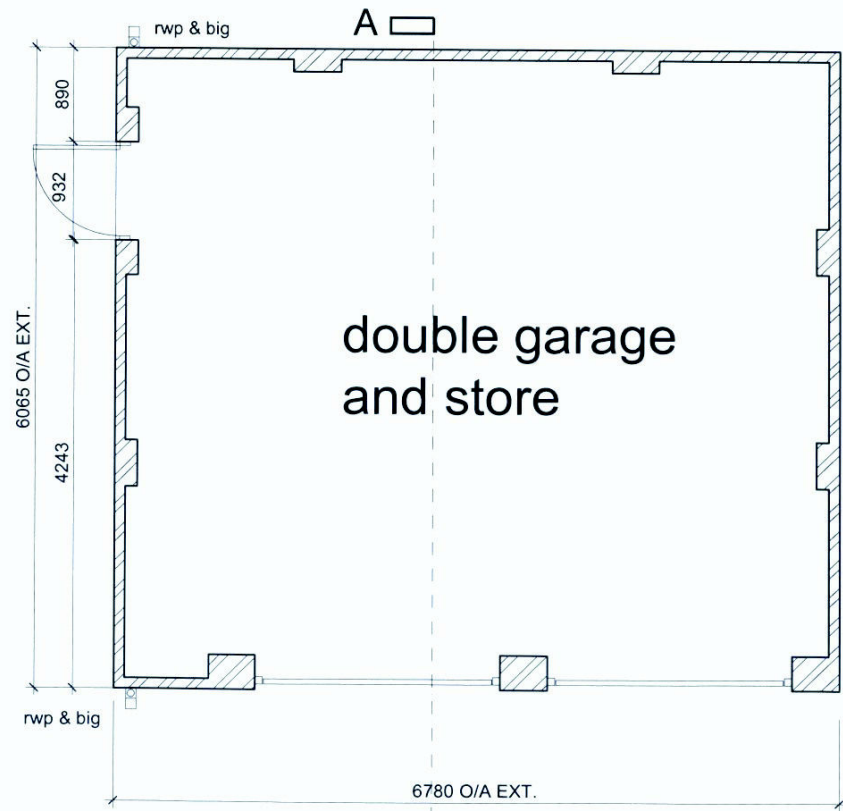
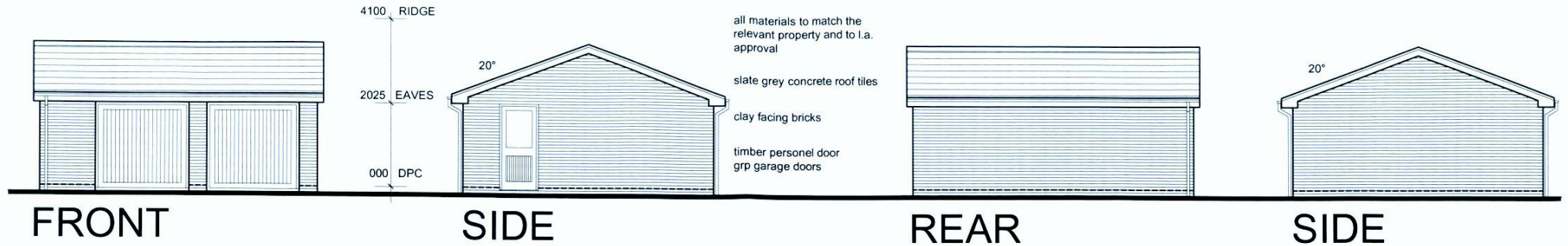


Revision A: To clients requirements - JAL (10/03/10)
 Revision B: Kitchen extended and window profile amended - JAL (19/05/10)
 Revision C: Kitchen extension deleted - ASL (12/10/10)
 Revision D: Extension deleted and existing roof to remain. Design altered accordingly - ASL (07/02/11)

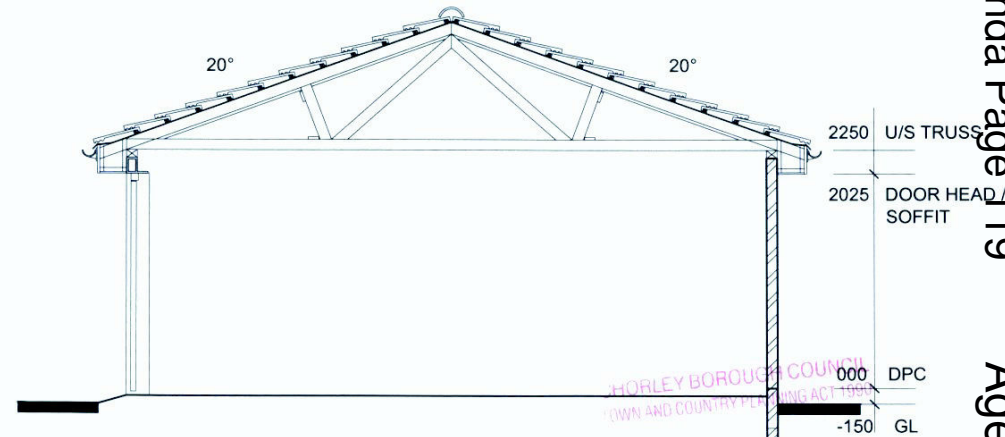
CLIENT	Thomas Mawdsley Building Contractors		
PROJECT	Conversion of Existing Buildings to Residential at land North of Backhouse Barn, Hall Lane, Mawdsley		
DRAWING TITLE	Building 3 - Proposed Plans and Elevations		
DATE	10/03/10	SCALE	1:100@A2
DRAWN	JAL	PRNG. No.	08/133/P03
REV	D		
	213 PRESTON ROAD WHITTLE-LE-WOODS CHORLEY PRESTON PNR6 7JZ TEL: 01257 261555 FAX: 01257 267224 www.lmparchitects.co.uk © Copyright Lawson Kempson Pringle Ltd.		

This page is intentionally left blank

ELEVATIONS 1:100



PLAN 1:50



SECTION A-A 1:50

HORLEY BOROUGH COUNCIL
TOWN AND COUNTRY PLANNING ACT 1990

16 DEC 2010

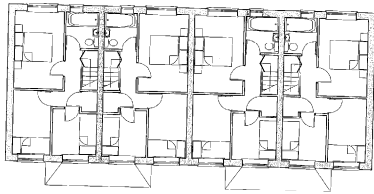
10 1081

THIS IS THE PLAN REFERRED TO IN

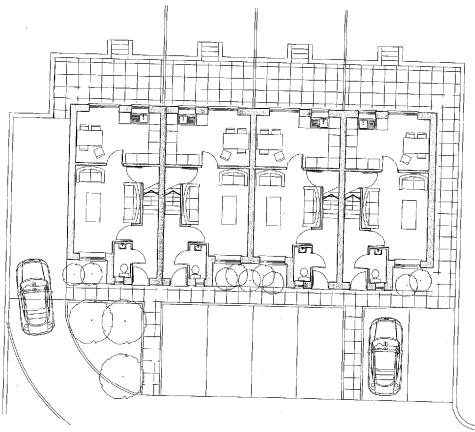
Double Garage					<p>213 PRESTON ROAD WHITTLE-LE-WOODS CHORLEY LANCASHIRE PR10 7PS TEL: 01257 281555 FAX: 01257 267224 www.lmparchitects.co.uk</p> <p>© Copyright Lawson Magerison Practice Ltd.</p>
Thomas Mawdsley Building Contractors land North of Backhouse Barn, Mawdsley					
DATE 11/10/10	SCALE as shown@A3	DRAWN asl	DRWG No. 08/133/P06	REV	

This page is intentionally left blank

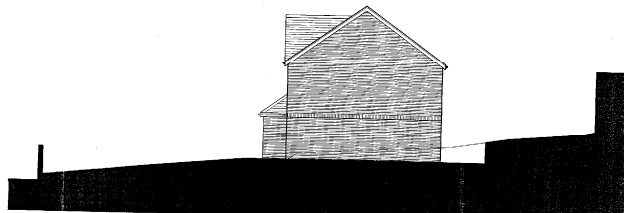
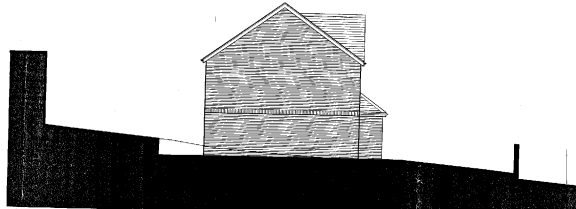
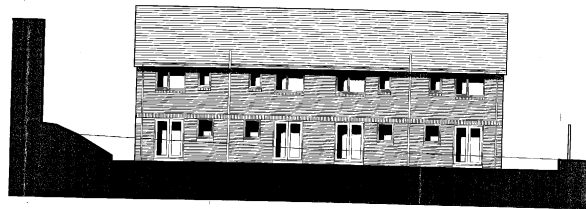
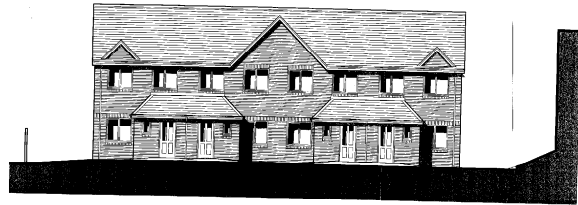
RAILWAY ROAD, BRINSCALL



FIRST FLOOR LAYOUT 1:100



GROUND FLOOR LAYOUT 1:100



1. This drawing and design are copyright and may not be reproduced without the permission of ac architectural consultancy.
 2. The contractor is to check and verify all dimensions, site and structural conditions.
 3. The contractor is to check and verify all materials, quantities, quantities and quality of work prior to any of the work.
 4. The contractor is to check prior to any of the work.

CHURCHILL BUILDING CONSULTANTS
 8 & DEC 2010
 THIS IS THE FINAL APPROVED SET
 ARCHITECTURAL NO. 12/2010

Project	Date	Rev
Land to rear of 79 Railway Road, Brinscall		
Drawing No.	A1	
Proposed layouts and elevations		

ac architectural consultancy
 10172 37888
 10172 37888
 info@acconsultancy.com
 the willows, 20th floor,
 pierwathorpe, preston, pr1 9JZ

2015 02

This page is intentionally left blank

This page is intentionally left blank

DECLOC

11/02/2011

Amended location plan

10/01065/FUL.

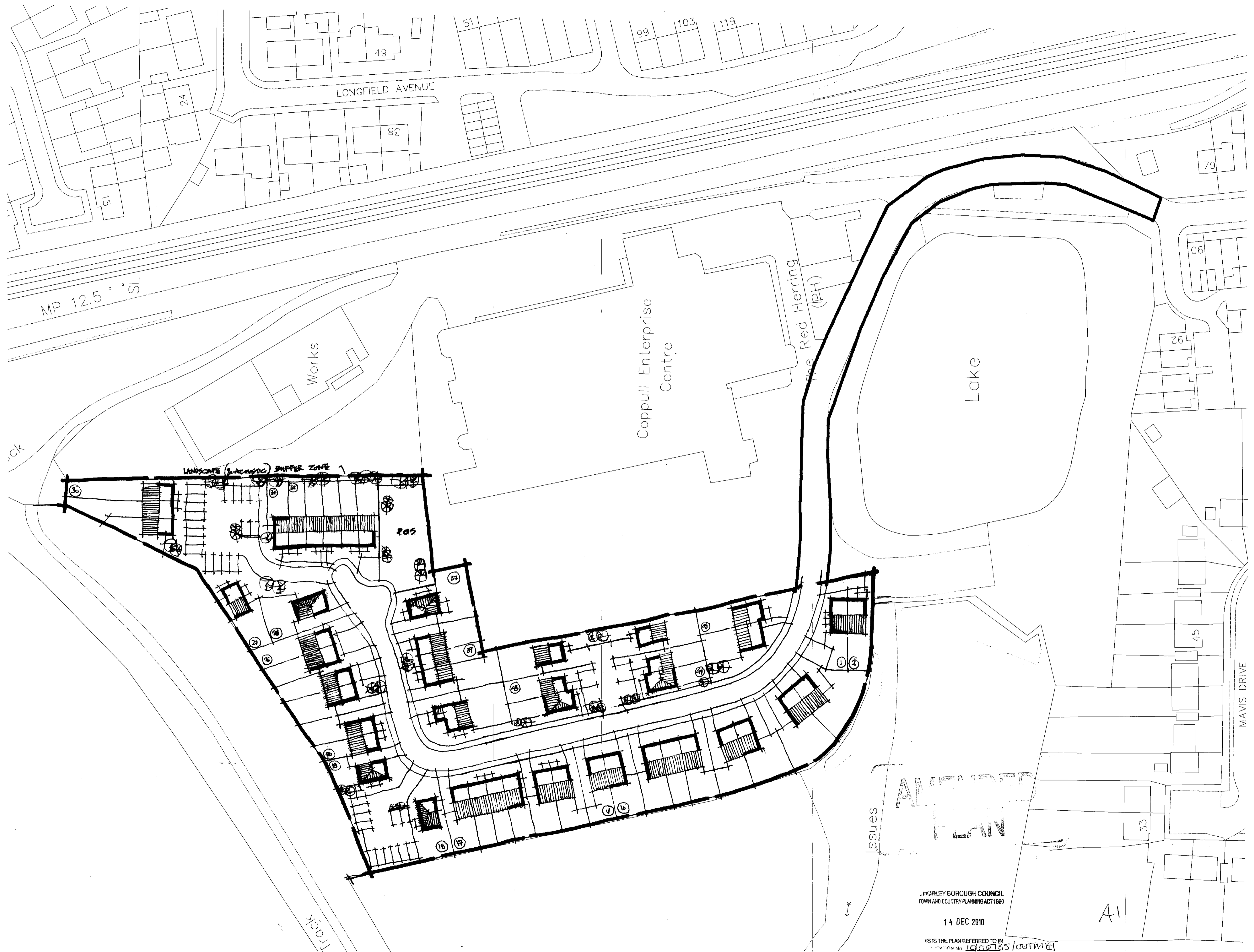
DWG No: A1a

RAILWAY ROAD, BRINSCALL



11/1065

This page is intentionally left blank



AREA
15,375 sqm
3.8 acres



LEACH RHODES WALKER
 ARCHITECTS

LAND ADJ' TO COPPULL
 CENTRE - CHORLEY

PROPOSED
 SITE PLAN

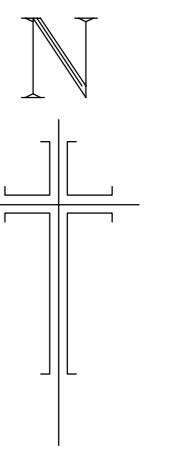
CHORLEY BOROUGH COUNCIL
 TOWN AND COUNTRY PLANNING ACT 1990

14 DEC 2010

THIS IS THE PLAN REFERRED TO IN
 APPLICATION No. 19001355/OUTM101

DRN	RAH	AMR	WR	DRS	131010
DRN	09/10/2010	1506/01			
LEACH RHODES WALKER ARCHITECTS 100-102, THE BARRACKS, CHORLEY, LANCASHIRE, PR6 3JQ TEL: 01524 832211 FAX: 01524 832212 www.lrw.co.uk					

This page is intentionally left blank



© Crown Copyright 2008. All rights reserved. Licence number 100020449

Coppull Enterprise Centre

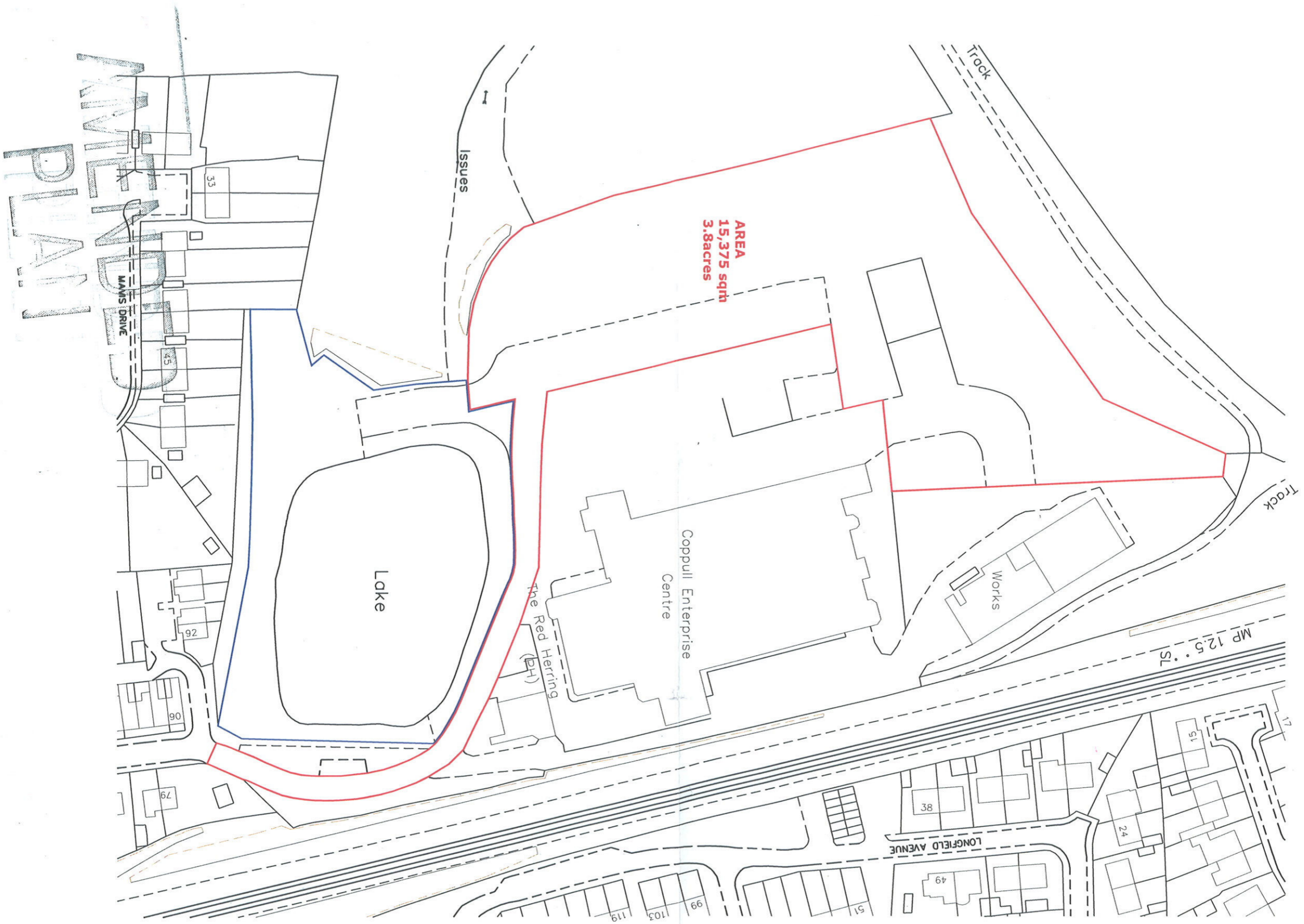
Scale 1:500

This page is intentionally left blank

CHORLEY BOROUGH COUNCIL
TOWN AND COUNTRY PLANNING ACT 1991

24 NOV 2010

THIS IS THE PLAN REFERRED TO IN
APPLICATION NO. 10/735/OUTMAY



LEACH RHODES WALKER
ARCHITECTS

LAND ADJ' TO COPPULL
ENT' CENTRE - CHORLEY

LOCATION PLAN
SITE EDGED RED
OWNERSHIP EDGED BLUE

DNB: RM AUB: MB DW: 24/11/10
DWE: 09/11/07 TCS: QAS RRF: A

LEACH RHODES WALKER
RIVERSIDE MANGROVE W3 5AA
E: +44 (0) 151 823 0211 F: +44 (0) 151 823 7257
R: 1510@lrw.co.uk www.lrw.co.uk

This page is intentionally left blank



10 735
HIGH COUNCIL
PLANNING ACT 1990
2010
REFERRED TO IN



Not Set

Not Set



Rated "Excellent" - aiming higher
GIS by ESRI (UK)



Legend

*286 The Green
Eccleston
Chorley*

*Position
of
portable
building*



Reproduced from the Ordnance Survey map with the permission of the Controller of Her Majesty's Stationery Office © Crown Copyright 2000.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	Not Set
Department	Not Set
Comments	Not Set
Date	09 March 2011
SLA Number	Not Set



This page is intentionally left blank